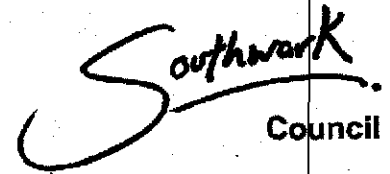


TP(Permit)

SOUTHWARK COUNCIL

TOWN AND COUNTRY PLANNING ACT 1990 (as amended)



www.southwark.gov.uk

PLANNING PERMISSION WITH LEGAL AGREEMENT**Applicant** Mr. S. Packham and Mr. P. Delaney**LBS Registered Number** 06-AP-2183**Date of Issue of this decision** 6 July 2007**Case Number** TP/2050-91**Planning Permission was GRANTED for the following development:**

Redevelopment of the site to provide 83 residential units and 1663m² of Class B1 (Office) floorspace in three separate buildings ranging in height between 3 storeys (9m) and 6 storeys (18.5m); Communal open space; Basement car parking and bicycle storage.

At: Land at 69-91 (odd) CAMBERWELL STATION ROAD and 90-106 (even) and 108A WARNER ROAD LONDON, SE5 9JZ

In accordance with application received on 09/11/2006

and Applicant's Drawing Nos. 05002-D-500 & 505 and supporting documents (rec'd 9/11/2006)

Parking Stress Survey (rec'd 19/1/2007)

Revised Certificate B and applicants' details (rec'd 28/2/2007)

05002-D-501A, 502A, 503A, 504A, 506A, 507C, 509B, 510C, 511B, 512B, 513C, 514C, 515C, 517C, 518C, 519C (rec'd 1/3/2007)

05002-D-508D & 516D; & Light Assessment (rec'd 13/4/2006)

Subject to the following fourteen conditions:

- 1 The development hereby permitted shall be begun before the end of three years from the date of this permission.

Reason

As required by Section 91 of the Town and Country Planning Act 1990 as amended

- 2 Samples of all facing and roofing materials to be used in the carrying out of this permission shall be submitted to and approved by the Local Planning Authority before any work in connection with this permission is carried out and the development shall not be carried out otherwise than in accordance with any such approval given.

Reason

In order that the Local Planning Authority may be satisfied as to the details of materials in the interest of the appearance of the building in accordance with Policy 3.12 'Quality in Design' of the Southwark Plan (Modifications Version - March 2007) and Policy E.2.3 'Aesthetic Control' of the adopted Southwark Unitary Development Plan (1995).

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LBS Reg. No. 06-AP-2183 Case No. TP/2050-91 Date of issue of this decision 6 July 2007

- 3 Prior to commencement of works details of a scheme to insulate the premises against the transmission of airborne and impact sound between the commercial accommodation and the residential accommodation hereby permitted shall be submitted to and approved by the Local Planning Authority. The approved details shall be installed prior to the first occupation of the scheme.

Reason

In order to protect residential occupiers from noise nuisance thereby protecting their amenity in accordance with Policy 3.2 Protection of Amenity of the Southwark Plan (Modifications Version - March 2007) and Policy E.3.1: Protection of Amenity of the adopted Southwark Unitary Development Plan (1995) and Planning Policy Guidance 24 Planning and Noise.

- 4 Prior to commencement of works details of a scheme to insulate the commercial accommodation and the dwellings hereby permitted facing Camberwell Station Road from railway noise, including noise attenuation measures within windows and the front elevation, shall be submitted to and approved by the Local Planning Authority. The approved details shall be installed prior to the first occupation of the scheme.

Reason: In order to protect occupiers in the block facing Camberwell Station Road from noise nuisance thereby protecting their amenity in accordance with Policy 3.2 'Protection of Amenity' of the Southwark Plan (Modifications Version - March 2007) and Policy E.3.1: 'Protection of Amenity' of the adopted Southwark Unitary Development Plan (1995) and Planning Policy Guidance 24 Planning and Noise.

- 5 Prior to commencement of works details of a scheme for ventilating the underground car park shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be installed prior to the first occupation of the premises.

Reason

In order that the Council may be satisfied that the ventilation ducting and ancillary equipment will not result in an odour, fume or noise nuisance and will not detract from the appearance of the building in the interests of amenity in accordance with Policy 3.2 'Protection of Amenity' of the Southwark Plan (Modifications Version - March 2007) and Policy E.3.1: 'Protection of Amenity' of the adopted Southwark Unitary Development Plan (1995) and Planning Policy Guidance 24 Planning and Noise.

- 6 The dwellings hereby permitted shall not be occupied before details of the arrangements for the storing of domestic refuse have been submitted to (2 copies) and approved by the local planning authority and the facilities approved have been provided and are available for use by the occupiers of the dwellings. The facilities shall thereafter be retained for refuse storage and the space used for no other purpose without the prior written consent of the Council as local planning authority.

Reason

In order that the Council may be satisfied that suitable facilities for the storage of refuse will be provided and retained in the interest of protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with Policy 3.2 'Protection of Amenity' of the Southwark Plan (Modifications Version - March 2007) and Policy E.3.1: 'Protection of Amenity' and Policy T.1.3: 'Design of Development and Conformity with the Council's Standards and Controls' of the adopted Southwark Unitary Development Plan (1995).

Continued overleaf...

TP(Permit)

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- 7 The commercial accommodation hereby permitted shall not be commenced before details of the arrangements for the storing of refuse have been submitted to (2 copies) and approved by the Local Planning Authority and the facilities approved have been provided and are available for use by the occupiers and users of the premises. The facilities shall thereafter be retained for refuse storage and the space used for no other purpose without the prior written consent of the Council as local planning authority.

Reason

In order that the Council may be satisfied that suitable facilities for the storage of refuse will be provided and retained in the interest of protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with Policy 3.2 'Protection of Amenity' of the Southwark Plan (Modifications Version - March 2007) and Policy E.3.1: 'Protection of Amenity' and Policy T.1.3: 'Design of Development and Conformity with Council's Standards and Controls' of the adopted Southwark Unitary Development Plan (1995).

- 8 Detailed drawings of a landscaping scheme (2 copies), including provision for the planting of suitable trees and shrubs, showing the treatment of all parts of the site not covered by buildings (including surfacing materials of any parking, access, or pathways) shall be submitted to and approved by the Council before the development hereby permitted is begun and the landscaping scheme approved shall thereafter be carried out in the first appropriate planting season following completion of the building works.

Reason: In the interest of visual amenities and in order to comply with Policies 3.2 'Protection of Amenity' and 3.13 'Urban Design' of the Southwark Plan (Modifications Version - March 2007) and Policies E.3.1 'Protection of Amenity' and E.2.5 'External Space' of the adopted Southwark Unitary Development Plan (1995).

- 9 Details of a survey and investigation of the soil conditions of the site (2 copies), sufficient to identify the nature and extent of any soil contamination, together with a schedule of the methods by which it is proposed to neutralise, seal, or remove the contaminating substances, shall be submitted to and approved in writing by the Local Planning Authority and thereafter shall be carried out before any works in connection with this permission are begun.

Reason

In order to protect construction employees and future occupiers of the site from potential health-threatening substances in the soil in accordance with Policies 3.1 'Environmental Effects' and 3.2 'Protection of Amenity' of the Southwark Plan (Modifications Version - March 2007) and Policies E.1.1: 'Safety and Security in the Environment' and E.3.1 'Protection of Amenity' of the adopted Southwark Unitary Development Plan (1995).

- 10 Details of the facilities to be provided for the secure storage of cycles shall be submitted to (2 copies) and approved in writing by the Local Planning Authority before the development hereby approved is commenced and the premises shall not be occupied until any such facilities as may have been approved have been provided. Thereafter the cycle parking facilities provided shall be retained and the space used for no other purpose without the prior written consent of the Local Planning Authority, to whom an application must be made.

Reason

In order to ensure that satisfactory safe and secure cycle parking facilities are provided and retained in order to encourage the use of cycling as an alternative means of transport to the development and to reduce reliance on the use of the private car in accordance with Policy 5.3 'Walking and Cycling' of the Southwark Plan (Modifications Version - March 2007) and Policy T.4.1 'Measures for Cyclists' of the adopted Southwark Unitary Development Plan (1995).

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TP(Permit)

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LBS Reg. No. 06-AP-2183 Case No. TP/2050-91 Date of issue of this decision **6 July 2007**

- 11 Prior to the first occupation of the accommodation hereby permitted, the development shall incorporate in full the measures outlined in the approved energy and renewables strategy.

Reason: To ensure the development contributes towards sustainable development objectives and complies with Policy 3.5 (Renewable Energy) of the Southwark Plan (Modifications Version - March 2007) and Policy 4A.9 of the London Plan 2004.

- 12 No development shall take place until the applicant has provided to the Local Planning Authority for written approval an independently verified EcoHomes 2006 report that achieves 'Very Good' rating with certification. The approved scheme shall then be constructed in strict accordance with these details. A certificated EcoHomes 2006 Post Construction Review, or other verification process agreed with the Local Planning Authority, shall be provided, confirming that the agreed standards have been met, prior to the first occupation of the development.

Reason: To ensure that the development contributes towards sustainable development objectives and that the proposal complies with Policy 3.4 of the Southwark Plan (Modifications Version - March 2007).

- 13 No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted (2 copies) by the applicant and approved in writing by the Local Planning Authority.

Reason

In order that the archaeological operations are undertaken to an acceptable standard and that legitimate archaeological interest in the site is satisfied, and in order to comply with Policy 3.19 'Archaeology' of the Southwark Plan (Modifications Version - March 2007) and Policy E.5.1 'Sites of Archaeological Importance' of the adopted Southwark Unitary Development Plan (1995).

- 14 Surface water source control measures shall be submitted to and approved in writing by the Local Planning Authority before any development commences, and the approved details shall be implemented prior to the first occupation of the development hereby permitted.

Reason:

To prevent the increased risk of flooding and to improve water quality and to comply with Policy 3.9 'Water' of the Southwark Plan (Modifications Version - March 2007) and Policy E.7.2 'Water Environment' of the adopted Southwark Unitary Development Plan (1995).

Reasons for granting planning permission.

This planning application was considered with regard to various policies including, but not exclusively:

- a) Policy 1.4 Sites outside the Preferred Industrial and Office Areas; 2.5 Planning Obligations, 3.1 Environmental Effects, 3.2 Protection of Amenity, 3.3 Sustainability Appraisal, 3.4 Energy Efficiency, 3.5 Renewable Energy, 3.7 Waste Reduction, 3.11 Efficient Use of Land, 3.12 Quality in Design, 3.13 Urban Design, 3.14 Designing Out Crime, 3.19 Archaeology, 4.1 Density of Residential Development, 4.2 Quality of Residential Development, 4.3 Mix of Dwellings, 4.4 Affordable Housing, 4.5 Wheelchair Affordable Housing, 5.1 Locating Developments, 5.2 Transport Impacts, 5.3 Walking and Cycling, 5.6 Car Parking, 5.7 Parking Standards for disabled people and the mobility impaired of the emerging Southwark Unitary Development Plan [March.2007].

- b) R2.2 Planning Agreements, B.1.2 Protection Outside of Employment Areas and Sites, B.2.3 Class B1 Business Proposals, B.3.1 Access for people with Disabilities, C.1.1 Premises for Community Facilities, E.1.1 Safety and Security, E.2.1 Layout and Building Line, E2.2 Heights of Buildings, E.2.3 Aesthetic Control, E.2.4 Access for Facilities for People with Disabilities, E.2.5 External Space, E.3.1 Protection of Amenity, E.5.1 Sites of Archaeological Importance, H.1.3 New Housing, H.1.4 Affordable Housing, H.1.5 Mix of New Housing H.1.7

Density of New Residential Development, H.1.8 Standards for New Housing, H.1.10
Provision of Housing to Mobility and Wheelchair Standards, T.1.2 Location of Development in
Relation to the Transport Network, T.1.3 Design of Development and Conformity with Council
Standards and Controls, T.2.1 Measures for Pedestrians, T.4.1 Measures for Cyclists and
T.6.3 Parking Space in New Developments

- c) Policies 3A.1 Increasing the overall supply of housing, 3A.2 Borough housing targets, 3A.4 Housing choice, 3A.7 Affordable housing targets, 3A.8 Negotiating affordable housing in individual private residential and mixed use schemes, 3C.22 Parking Strategy, 4A.7 Energy Efficiency and renewable energy, 4A.8 Energy Assessment, 4A.9 Providing for renewable energy, 4B.1 Design principles for a compact city, 4B.4 Enhancing the quality of the public realm, 4B.6 Sustainable design and construction, 4B.11 Heritage Conservation and 6A.5 Planning Obligations of the London Plan [2004].
- d) Planning Policy Statements [PPS] and Guidance Notes [PPG] PPS 1: Planning for Sustainable Communities, PPS 3: Housing, PPS 22: Renewable Energy, PPS 25: Development and Flood Risk, PPG 13: Transport and PPG 16: Archaeology.

Planning permission was granted as there are no, or insufficient, grounds to withhold consent on the basis of the policies considered and other material planning considerations.

Signed



David Stewart
Interim Head of Development and Building Control

Your attention is drawn to the notes accompanying this document

Any correspondence regarding this document should quote the Case Number and LBS Registered Number and be addressed to: Head of Development and Building Control, Council Offices, Chiltern, Portland Street, London SE17 2ES. Tel. No. 020 7525 5000

UPRN: 200003464710

checked by



PLANNING PERMISSION WITH LEGAL AGREEMENT

LBS Registered Number: 06-AP-2183

Case Number: TP/2050-91

Date of issue of this decision: 6 July 2007



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INFORMATIVE NOTES TO APPLICANT RELATING TO THE PROPOSED DEVELOPMENT

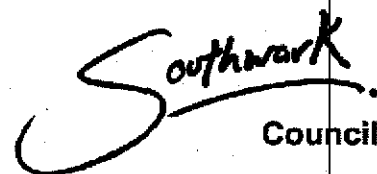
- 1 The planning permission granted includes alterations and amendments to areas of public highway which will need to be funded by the developer. Although these works are approved in principle by the Highway Authority, no permission is hereby granted to carry out these works until all necessary and appropriate design details have been submitted and agreed. You are advised to contact the Principal (Client) Engineer Infrastructure Group (020 7525 2125), at least 4 months prior to any works commencing on the public highway.

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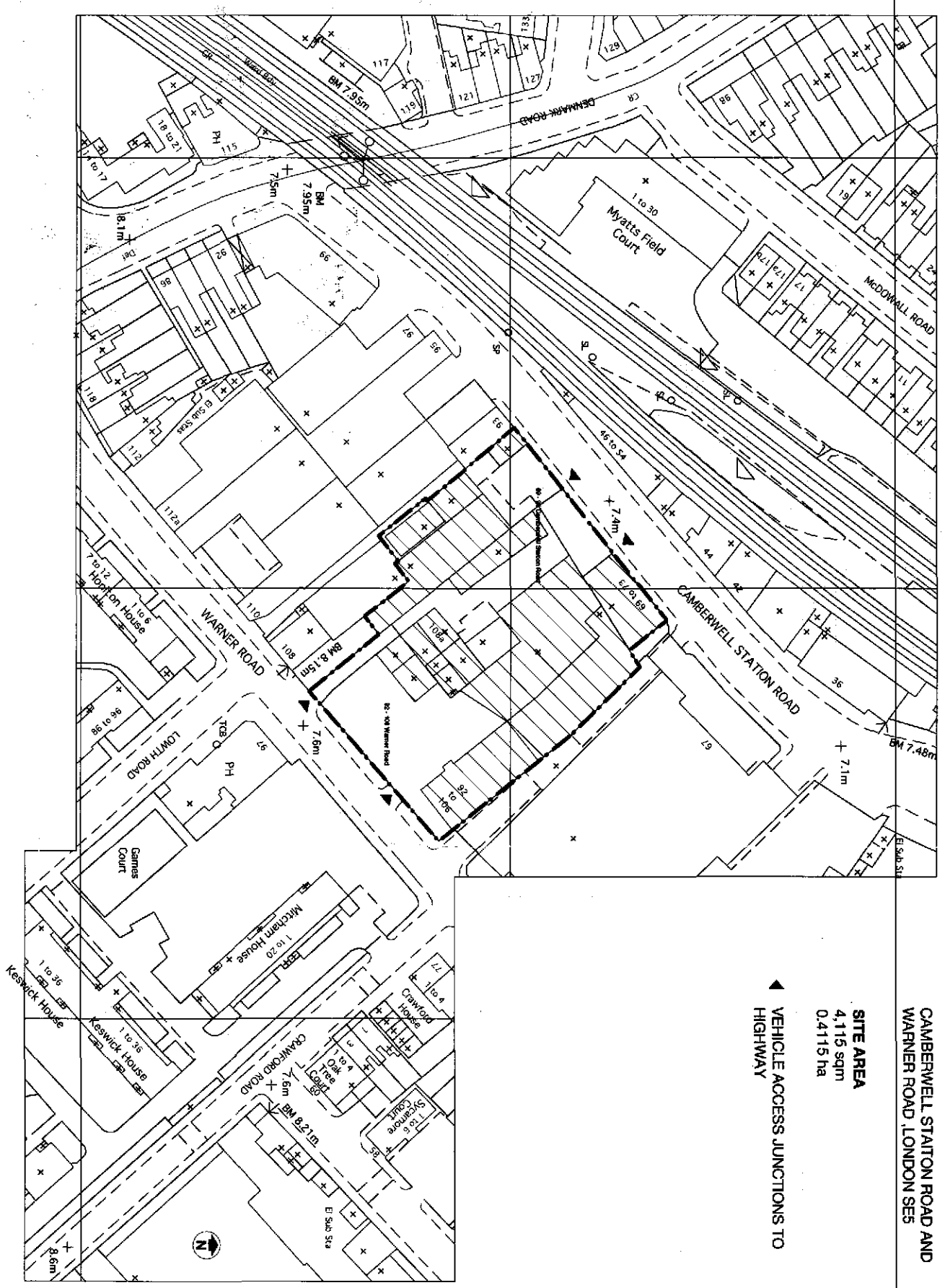
IMPORTANT NOTES RELATING TO THE COUNCIL'S DECISION

- [1] **APPEAL TO THE SECRETARY OF STATE.** If you are aggrieved by this decision of the council as the local planning authority to grant permission subject to conditions you can appeal to the Secretary of State under Section 78 of the Town and Country Planning Act 1990. If you appeal you must do so within six months of the date of this notice. The Secretary of State can allow a longer period for giving notice of an appeal but will not normally use this power unless there are special circumstances which excuse the delay in giving notice of appeal. The Secretary of State need not consider an appeal if it seems that the local planning authority could not have granted it without the conditions imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order. If you do decide to appeal you can do so using The Planning Inspectorate's online appeals service. You can find the service through the appeals area of the Planning Portal at www.planningportal.gov.uk/pcs. You can also appeal by completing the appropriate form which you can get from The Planning Inspectorate, Customer Support Unit, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN [tel. 0117-3726372]. The form can also be downloaded from the Inspectorate's website at www.planning-inspectorate.gov.uk. The Planning Inspectorate will publish details of your appeal on the internet on the appeals area of the Planning Portal. This may include a copy of the original planning application form and relevant supporting documents supplied to the council by you or your agent, together with the completed appeal form and information you submit to The Planning Inspectorate. Please ensure that you only provide information, including personal information belonging to you, that you are happy will be made available to others in this way. If you supply information belonging to someone else please ensure you have their permission to do so. More detailed information about data protection and privacy matters is available on the Planning Portal.
- [2] **PURCHASE NOTICE.** If either the local planning authority or the Secretary of State grants permission subject to conditions, the owner may claim that the land can neither be put to a reasonably beneficial use in its existing state nor made capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted. In these circumstances the owner may serve a purchase notice on the Council requiring the Council to purchase the owner's interest in the land in accordance with Part VI of the Town and Country Planning Act 1990.
- [3] **PROVISIONS FOR THE BENEFIT OF THE DISABLED.** Applicants are reminded that account needs to be taken of the statutory requirements of the Disability Discrimination Act 1995 to provide access and facilities for disabled people where planning permission is granted for any development which provides:
 - (i) Buildings or premises to which the public are to be admitted whether on payment or otherwise. [Part III of the Act].
 - (ii) Premises in which people are employed to work as covered by the Health and Safety etc At Work Act 1974 and the Management of Health and Safety at Work Regulations as amended 1999. [Part II of the Act].
 - (iii) Premises to be used as a university, university college or college, school or hall of a university, or intended as an institution under the terms of the Further and Higher Education Act 1992. [Part IV of the Act].Attention is also drawn to British Standard 8300:2001 Disability Access, Access for disabled people to schools buildings – a management and design guide. Building Bulletin 91 (DfEE 99) and Approved Document M (Access to and use of buildings) of the Building Regulations 2000 or any such prescribed replacement.
- [4] **OTHER APPROVALS REQUIRED PRIOR TO THE IMPLEMENTATION OF PLANNING PERMISSION.** The granting of planning permission does not relieve the developer of the necessity for complying with any Local Acts, regulations, building by-laws and general statutory provisions in force in the area, or allow them to modify or affect any personal or restrictive covenants, easements, etc., applying to or affecting either the land to which the permission relates or any other land or the rights of any persons or authorities [including the London Borough of Southwark] entitled to the benefits thereof or holding an interest in the property concerned in the development permitted or in any adjoining property.
- [5] **WORKS AFFECTING THE PUBLIC HIGHWAY.** You are advised to consult the council's Highway Maintenance section [tel. 020-7525-2000] about any proposed works to, above or under any road, footway or forecourt.
- [6] **THE DULWICH ESTATE SCHEME OF MANAGEMENT.** Development of sites within the area covered by the Scheme of Management may also require the permission of the Dulwich Estate. If your property is in the Dulwich area with a post code of SE19, 21, 22, 24 or 26 you are advised to consult the Estates Governors', The Old College, Gallery Road SE21 7AE [tel. 020-8299-1000].
- [7] **BUILDING REGULATIONS.** You are advised to consult Southwark Building Control at the earliest possible moment to ascertain whether your proposal will require consent under the Building Act 1984 [as amended], Building Regulations 2000 [as amended], the London Building Acts or other statutes. A Building Control officer will advise as to the submission of any necessary applications, [tel. call centre number 0845 600 1285].
- [8] **THE PARTY WALL Etc. ACT 1996.** You are advised that you must notify all affected neighbours of work to an existing wall or floor/ceiling shared with another property, a new building on a boundary with neighbouring property or excavation near a

neighbouring building. An explanatory booklet aimed mainly at householders and small businesses can be obtained from the Department for Communities and Local Government [DCLG] Free Literature tel: 0870 1226 236 [quoting product code 02BR00862].

IMPORTANT: This is a **PLANNING PERMISSION** only and does not operate so as to grant any lease, tenancy or right of occupation of or entry to the land to which it refers.

NOTE
 DO NOT SCALE DRAWINGS
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 DISCREPANCIES TO BE REFERRED PRIOR TO COMMENCEMENT OF WORKS



CAMBERWELL STATION ROAD AND
 WARNER ROAD, LONDON SE5

▲ SITE AREA
 4,115 sqm
 0,4115 ha

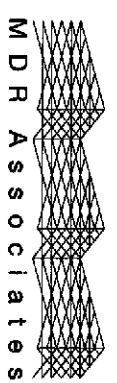
▲ VEHICLE ACCESS JUNCTIONS TO
 HIGHWAY

SOUTHWARE COUNTY COUNCIL	
CASE FILE	
DATE RECEIVED	09 NOV 2006
REGISTERED NUMBER	06 AP 2183

DELEGATED
 - 6 JUL 2007
 APPROVED

Project
 CAMBERWELL STATION RD
 Southwark, London

Revision



MDR Associates
 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

Scale: 1:1250
 Date: OCT 06
 Drawn By: JC
 Checked:

Drawing
 LOCATION PLAN

Drawing No.
 05002-D-600

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22 11 x 1
9 3 x 2

149

8 8K
4 2 x 1
18 6 x 2
36 9 x 3
58

58

72

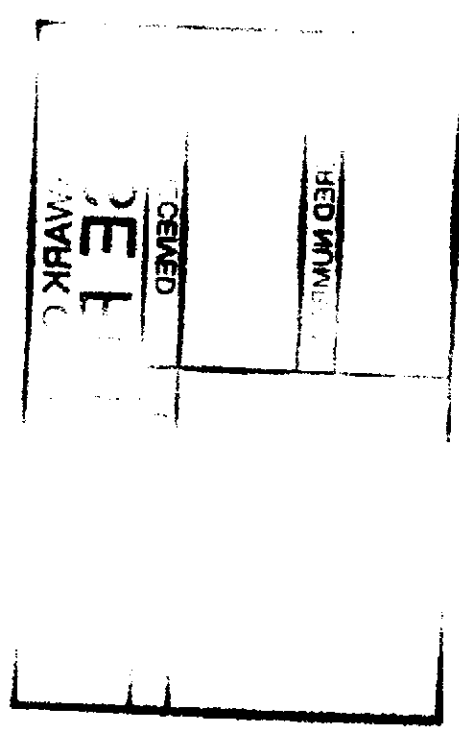
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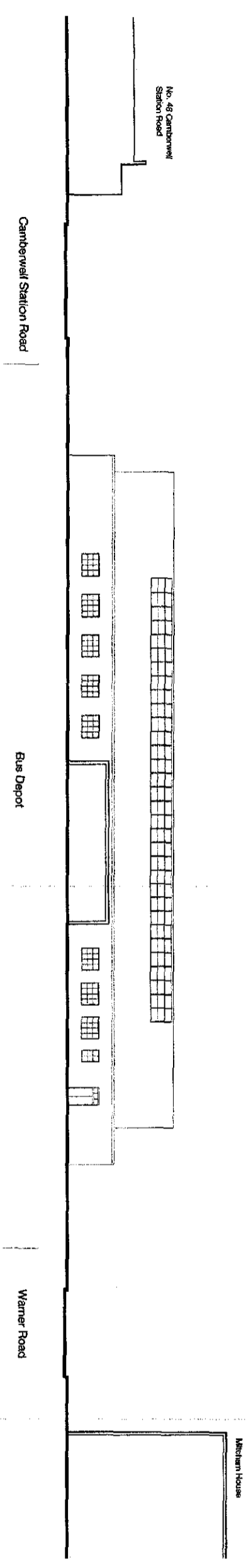
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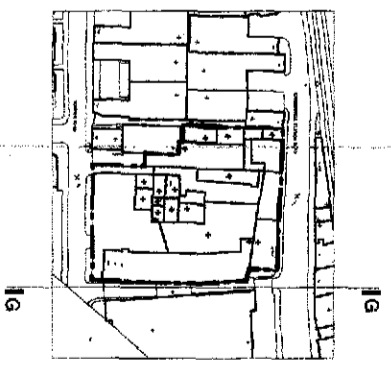
27.5
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Section G









Revision
MDR Associates
 1111 Southdown Road, Southdown, SA 5091
 Tel: (0800) 733 338 Fax: (0800) 733 339
 Email: info@mdrassociates.com.au

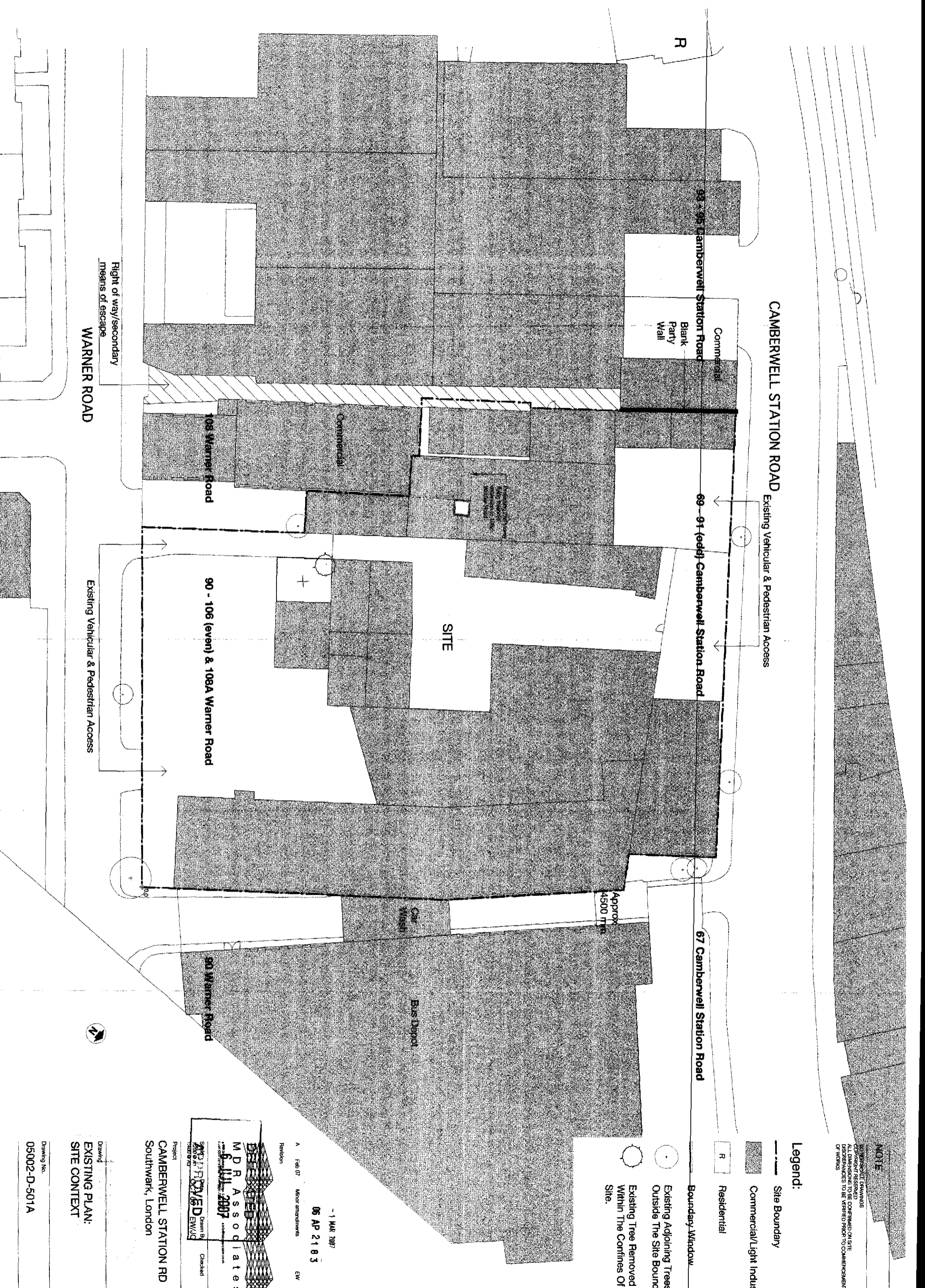
Scale Date Drawn By Checked
 1:200 15/08/06 11/10/06 JC
 Project
DELEGATED
CAMBERWELL
 Southwark, 10/10/06
APPROVED

SOUTHWARK COUNCIL PLANNING	
CASE FILE COPY	
DATE RECEIVED	DECISION MADE
09 NOV 2006	09 NOV 2006
REGISTERED NUMBER	REGISTERED NUMBER
WAP 2183	G
SECTIONS/ELEVATIONS	
Drawing No. 05002-D-505	

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Legend:

-  Site Boundary
-  Commercial/Light Industrial
-  Residential
-  Boundary Window
-  Existing Adjoining Trees Outside The Site Boundary.
-  Existing Tree Removed Within The Confines Of The Site.

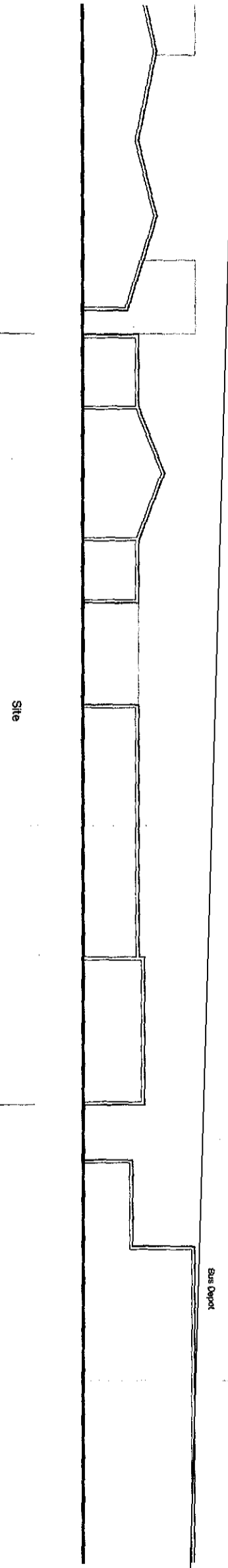


- 1 MAR 2007
 06 AP 21 8 3
 Revision
 A F40 07 Minor amendments EV

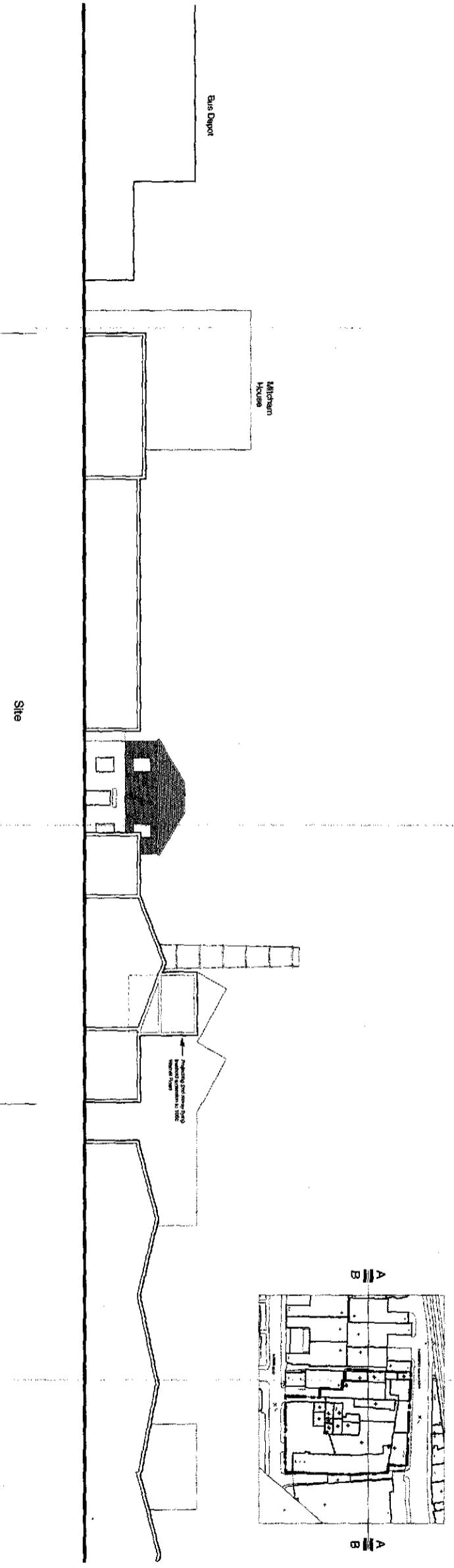
MDR Associates
 6-111, 2007
 2007
 Project: CAMBERWELL STATION RD Southwark, London

Drawing No. 05002-D-501A
 Drawing: EXISTING PLAN: SITE CONTEXT

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Section A



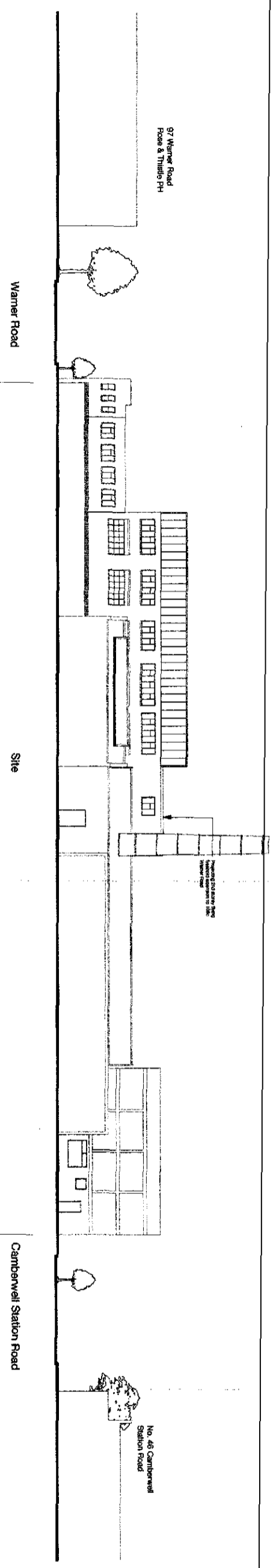
Section B

- 1 MAR 2007
DELETED
 A Feb 07 Minor amendments to section B EW
 Revision
30 JUL 2007
DRAGONED
MDR Associates
141 Gough Way, London, SE17 3SR andrew@mdrassociates.co.uk
 020 7798 7878 020 7798 8073

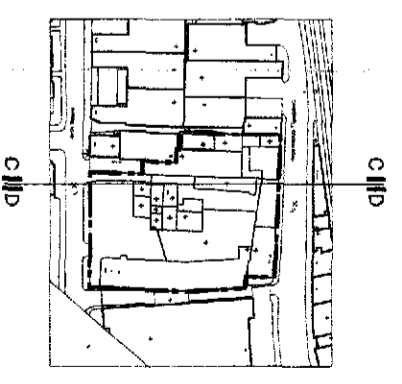
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 Drawn By EW/JC
 Checked
 Project CAMBERWELL STATION RD
 Southwark, London

Drawing No. 05002-D-502A
EXISTING SECTIONS/ELEVATIONS: A & B

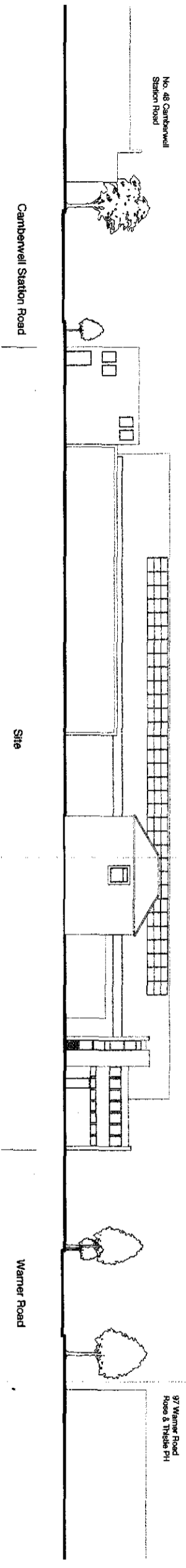
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Section C



- 1 MAR 2007
 06 AP 21 8 3



Section D

A Feb 07 Minor amendments to section C EV
 Revision

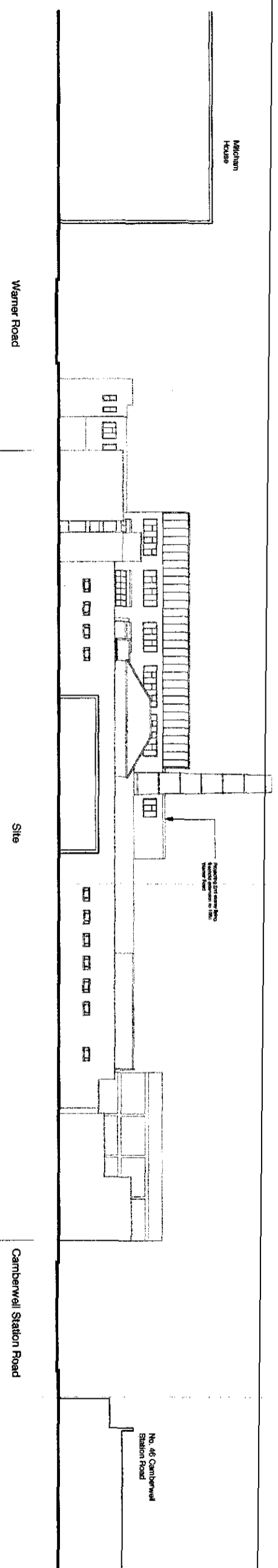
MDR ASSOCIATES
 117 Bonville, London Road, London SE17 1TB, UK
 T: +44 (0)20 7253 2000 F: +44 (0)20 7253 2173

Scale Date Drawn By Checked
 1:200/1500 A1 OCT 06 EW/JC

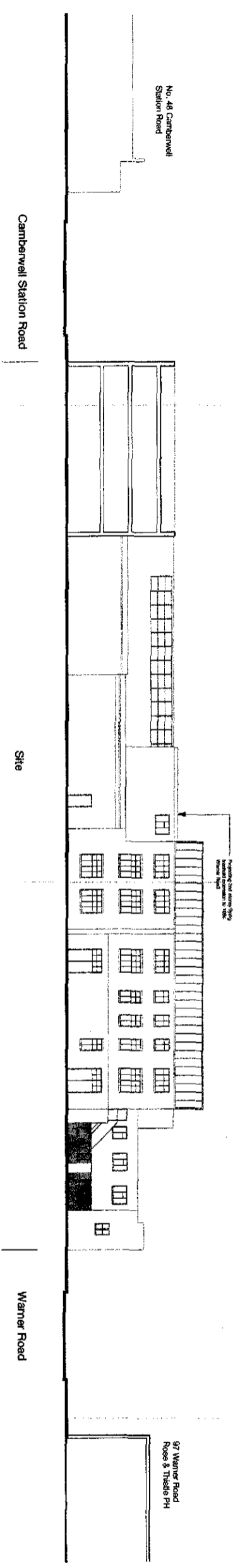
Project
GAMBERWELL STATION RD
SOUTHWICK, CAMBERWELL
 - 6 JUL 2007
 Drawing APPROVED
 EXISTING
 SECTIONS/ELEVATIONS:
 C & D

Drawing No.
 05002-D-503A

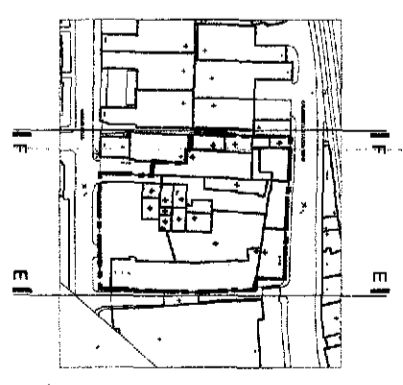
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Section E



Section F



1 MAR 2007
 06 AP 21 8 3

Revision
 A Feb 07 Minor amendments to sections EW

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 E: info@mdrassociates.co.uk

Scale 1:200/1:500 e A1/OCT06
 Date 1:00/3000 e A3
 Drawn By JC
 Checked

CAMBERWELL STATION RD
 Southwark, London
 - 6 JUL 2007
APPROVED

EXISTING
 SECTIONS/ELEVATIONS:
 E & F

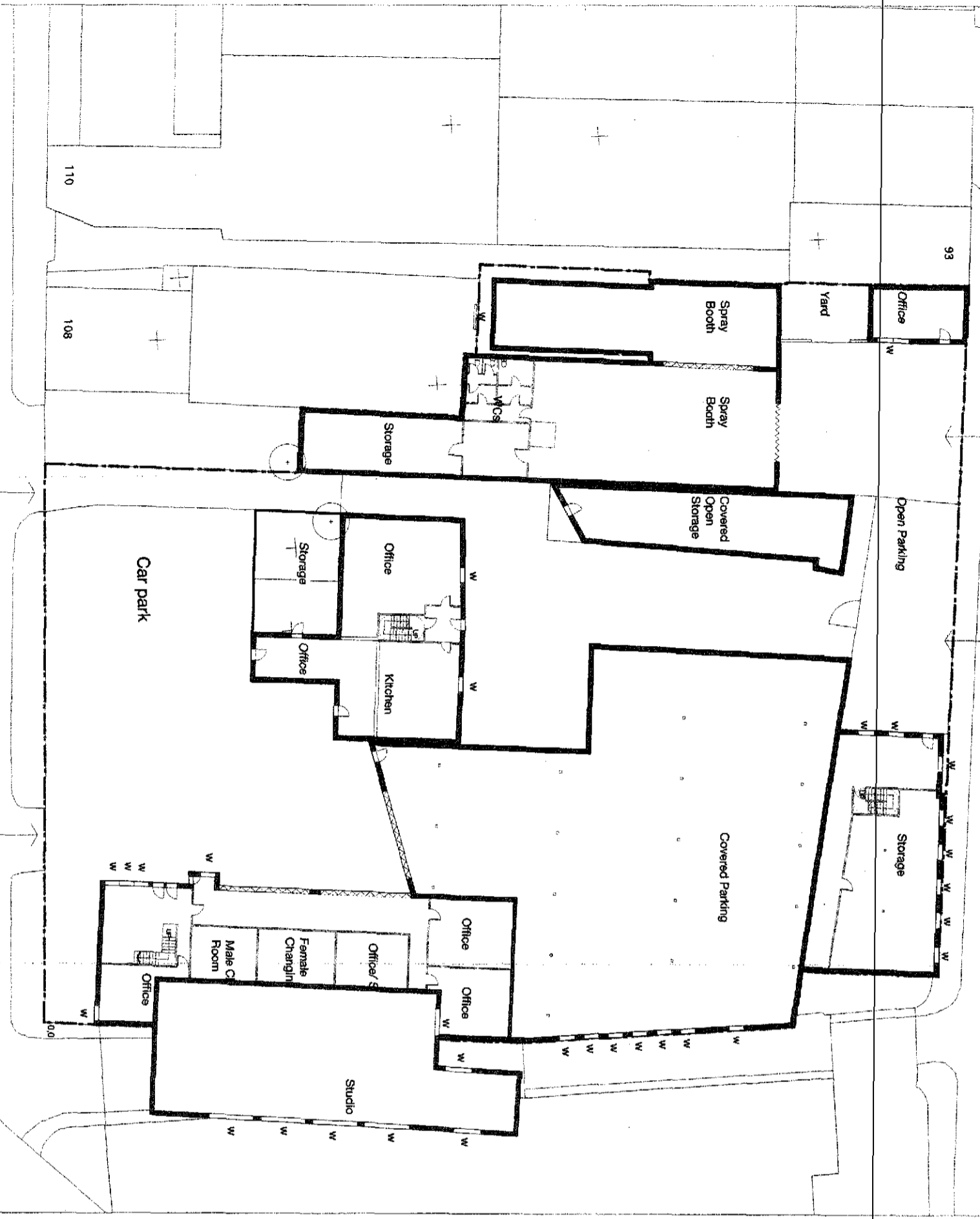
Drawing No.
 05002-D-504A

46 to 54 44 42

CAMBERWELL STATION ROAD Existing vehicular & pedestrian accesses

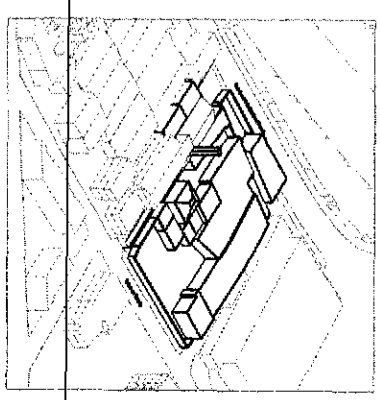
WARNER ROAD

Level 0 Plan



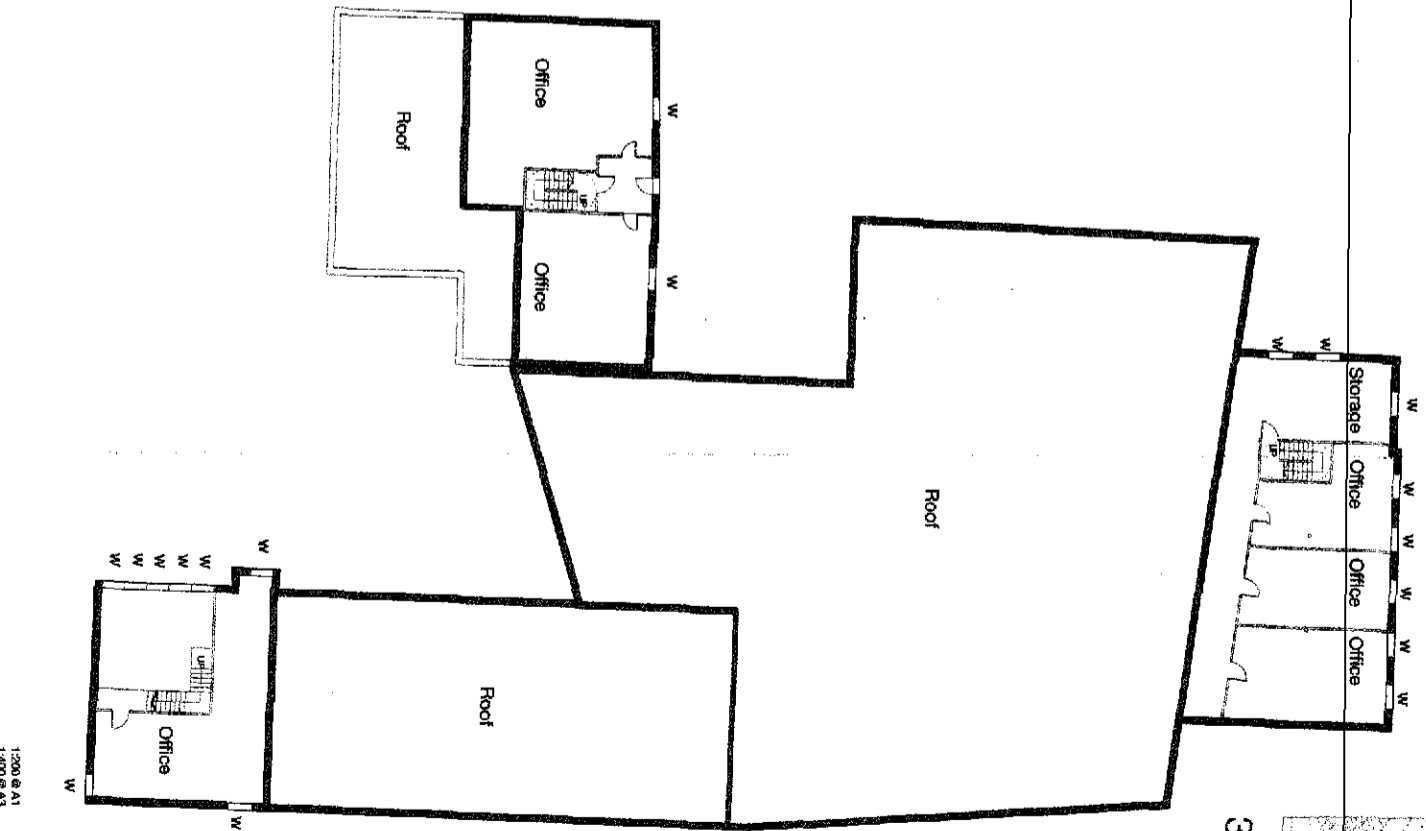
1:200 @ A1
1:500 @ A3

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3D Massing

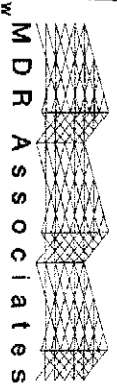
scale 1:10



Level 1 Plan

1:200 @ A1
1:500 @ A3

- 1 MAR 2007
06 AP 2183



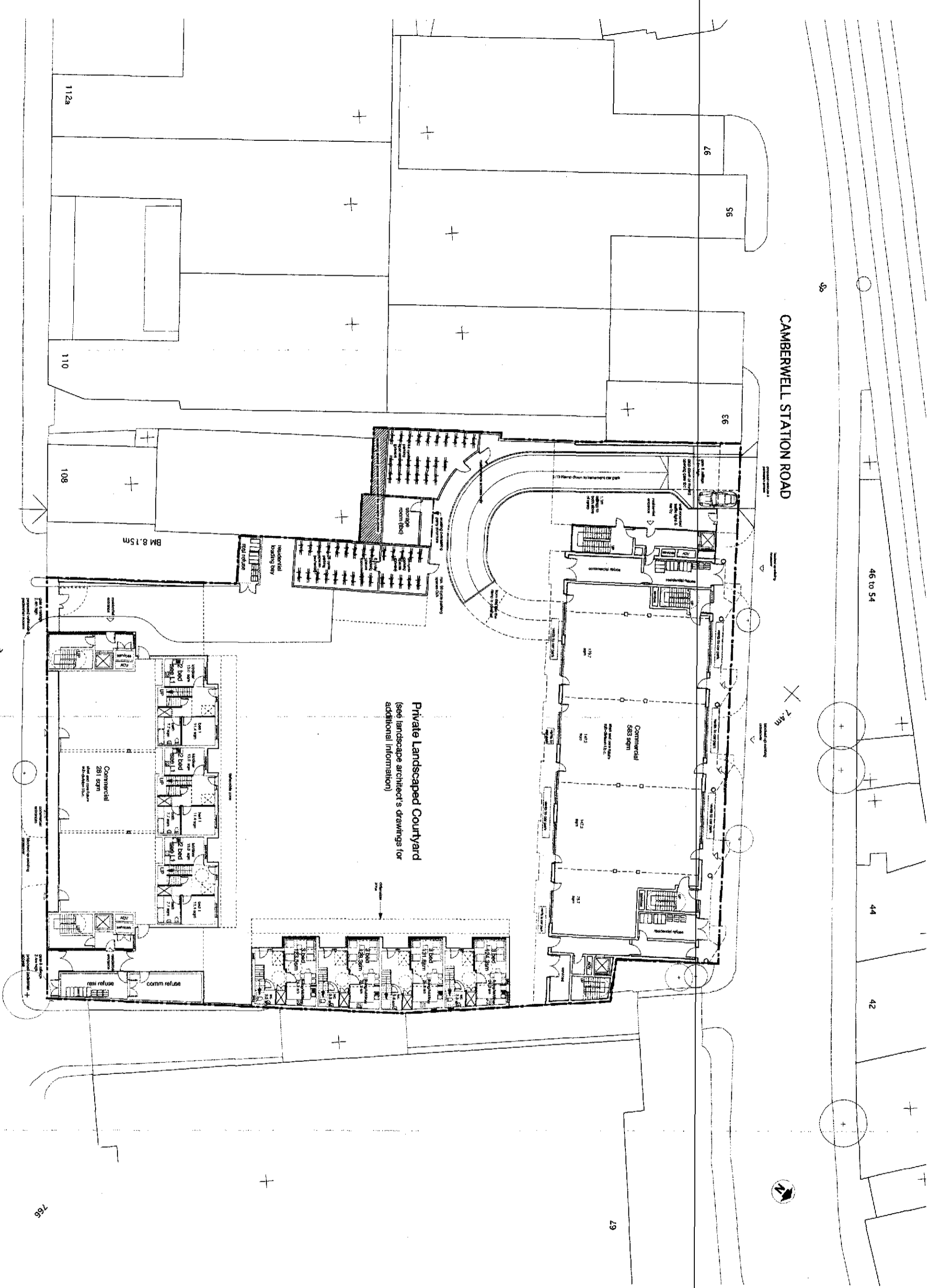
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A Feb 2007 Minor amendments
Revision
Scale
Date
Drawn By
Checked
Project
CAMBERWELL STATION RD
Southwark London

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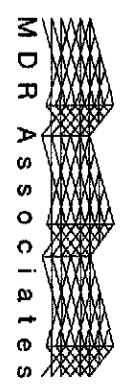
EXISTING
PLANS & 3D MASSING
levels 0 & 1
Drawing No.
05002-D-506A

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- 1 MAR 2007
 - 06 AP 21 8 3

- Revision
- | | | | |
|---|----------|-----------------------------------|-------|
| C | Feb 07 | Minor Amendment | EW/JC |
| B | 31.01.07 | Blue compound amended | EW |
| A | 15.01.07 | Residential building area revised | EW |



117 Southwark Lane, London SE1 1UE
 Tel: 020 7592 1111 Fax: 020 7592 1112
 www.mdrassociates.co.uk

Scale: 1:200 @ A1
 1:400 @ A3

Date: OCT 06
 Drawn By: EW/JC
 Checked:

Project:
CAMBERWELL STATION RD
 Southwark London

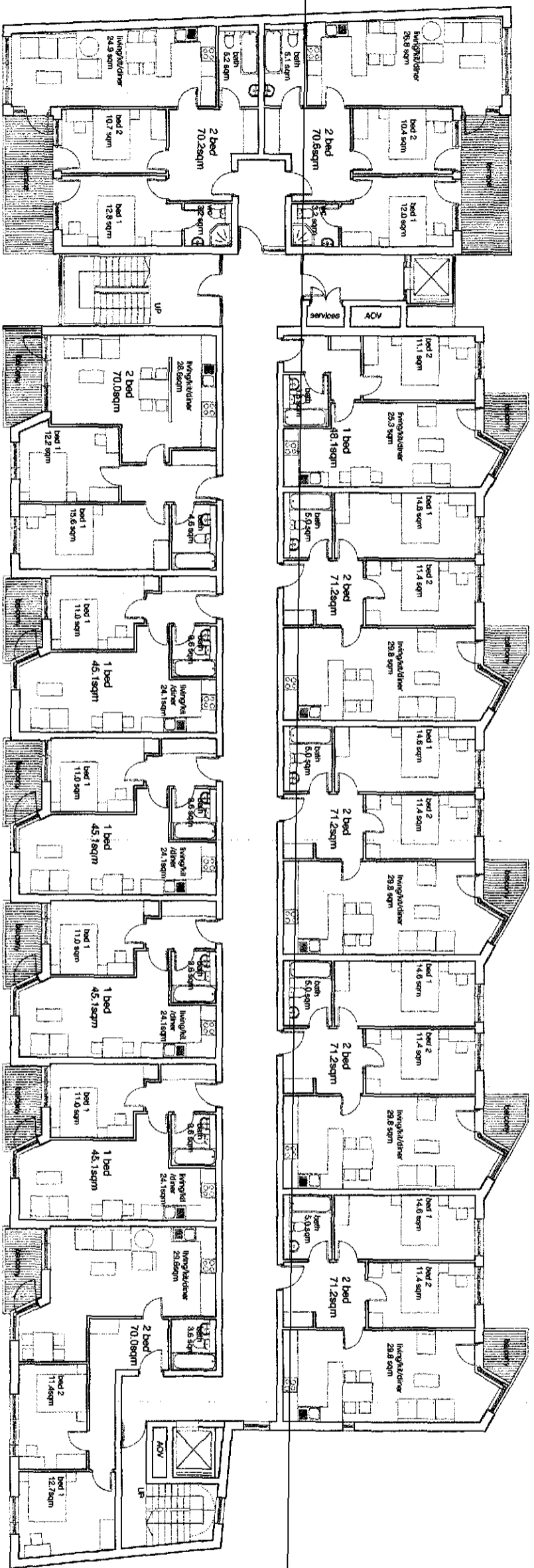
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Drawing:
PROPOSED: SITE PLAN
 Ground Floor Plan

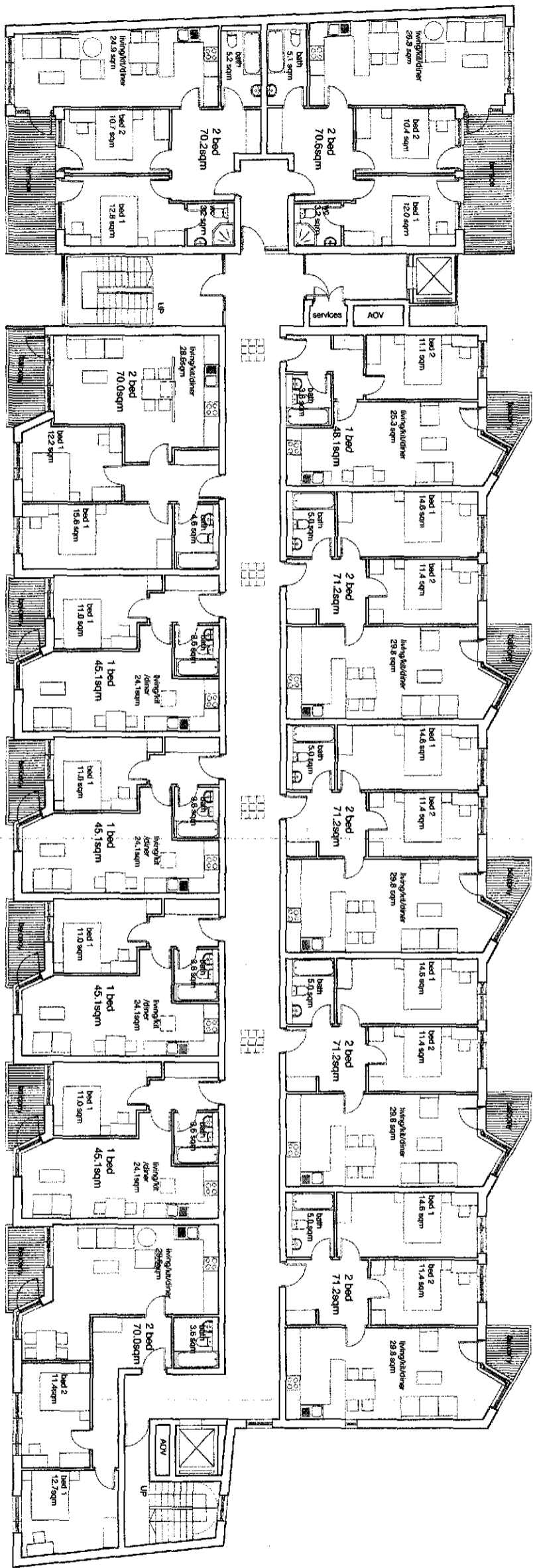
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LEVEL 2

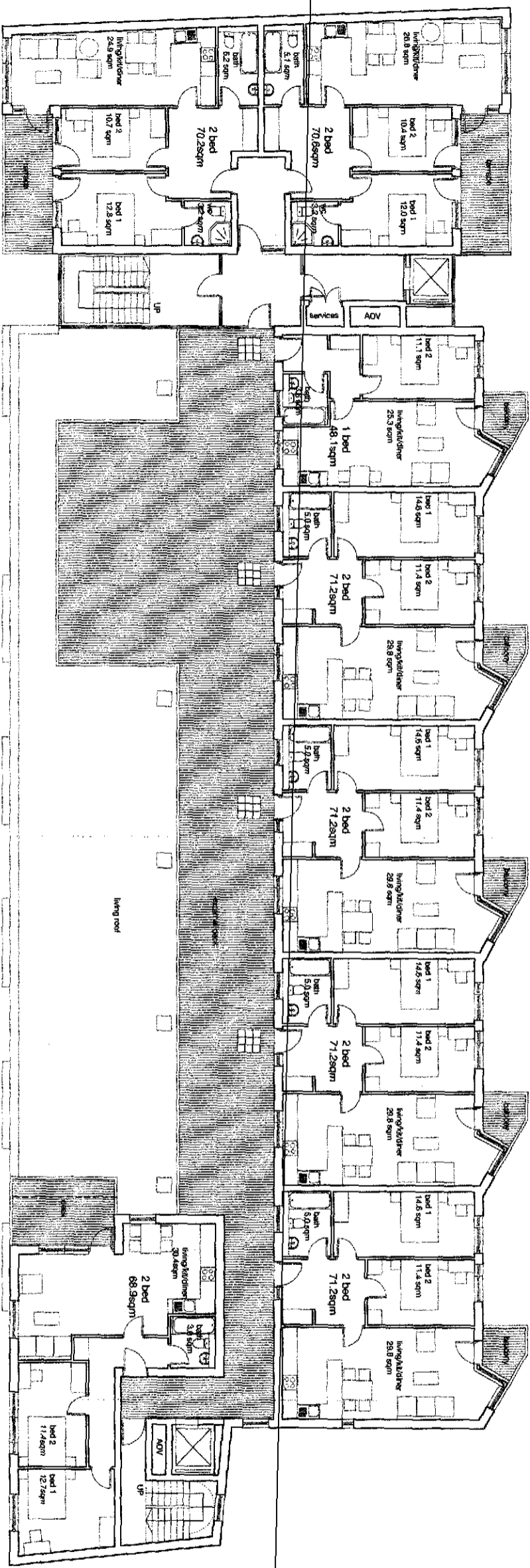


LEVEL 3

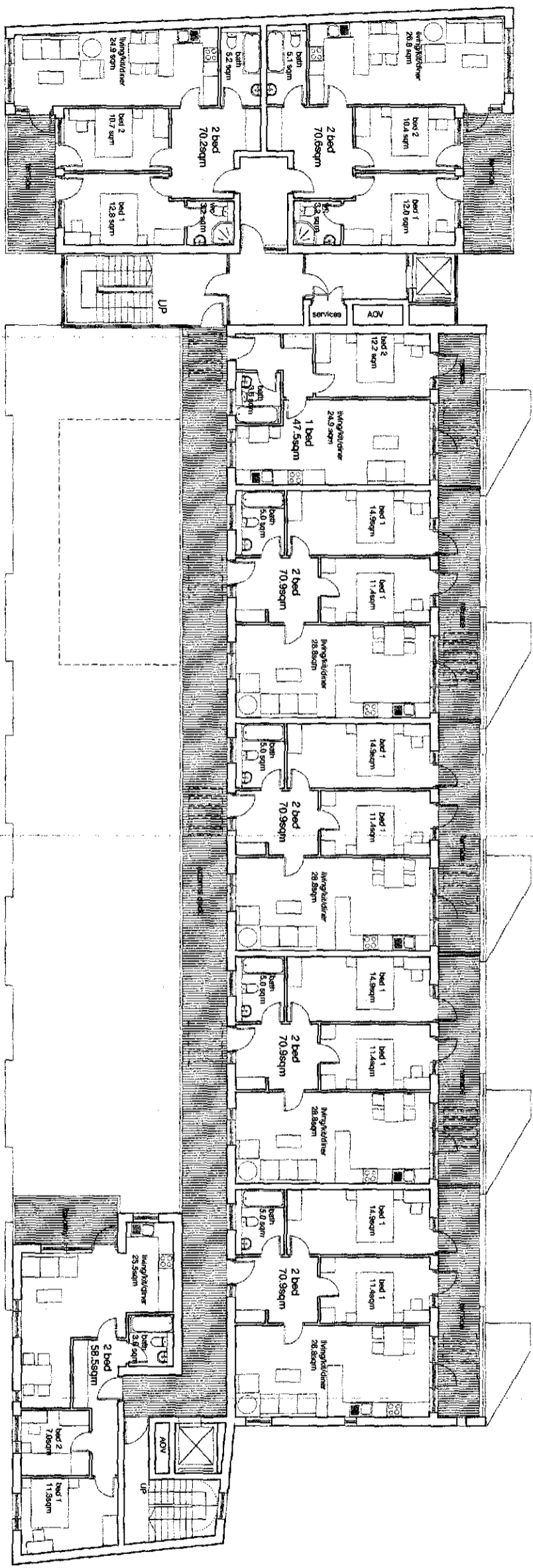
- 1 MAR 2007
 06 AP 21 8 3
 MDR ASSOCIATES
 117 Finsbury London Road London EC2A 3DF
 Tel: 020 7552 2222 Fax: 020 7552 2223
 Scale: 1:100 & A1 Date: OCT 06 Drawn By: EM/JC Checked: 1:200 & A3
 Project: CAMBERWELL STATION RD Southwark London
 Drawing: PROPOSED: CAMBERWELL BLOCK Levels 2 - 3
 Drawing No. 05002-D-509B

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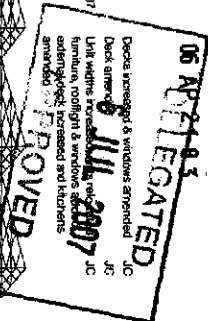


LEVEL 4



LEVEL 5

- 1 MAR 2007



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 Drawn By: EW/JC
 Checked:

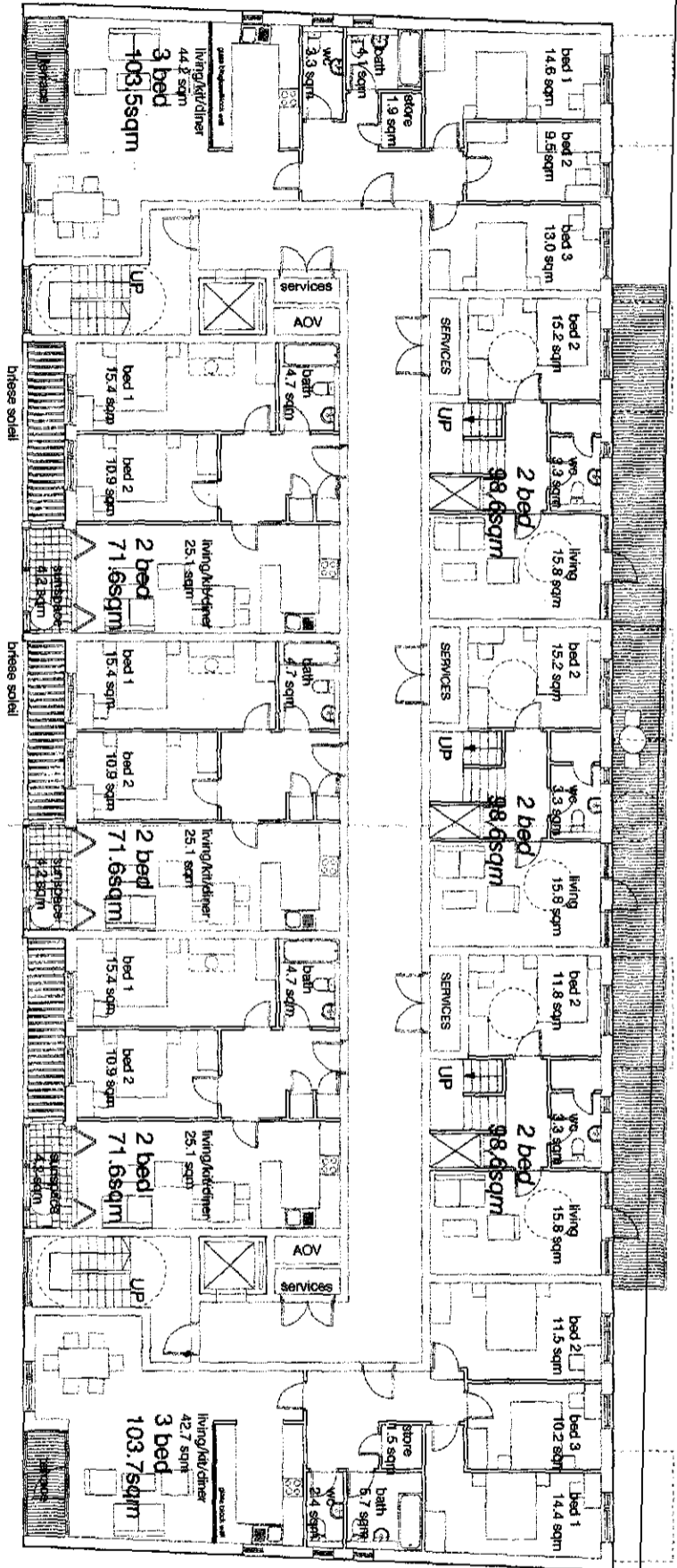
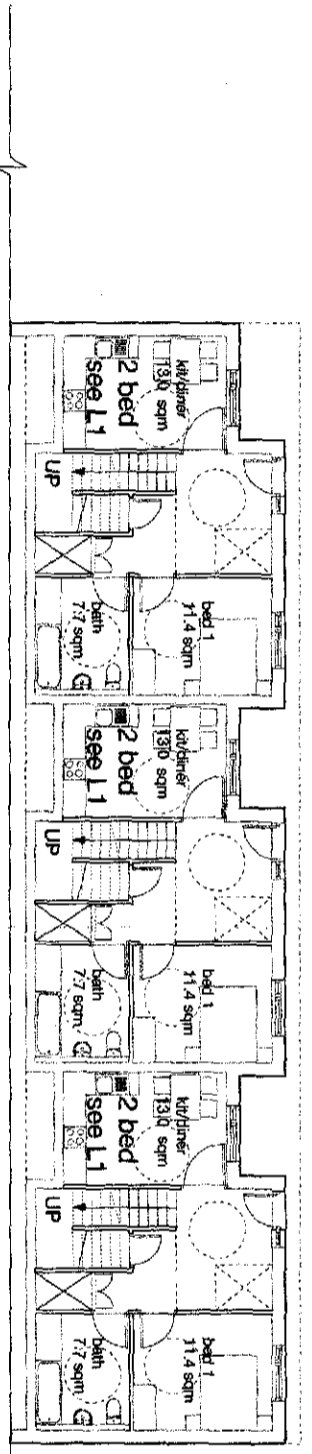
Project:
CAMBERWELL STATION RD
 Southwark London

Drawing:
PROPOSED:
CAMBERWELL BLOCK
 Levels 4 - 5

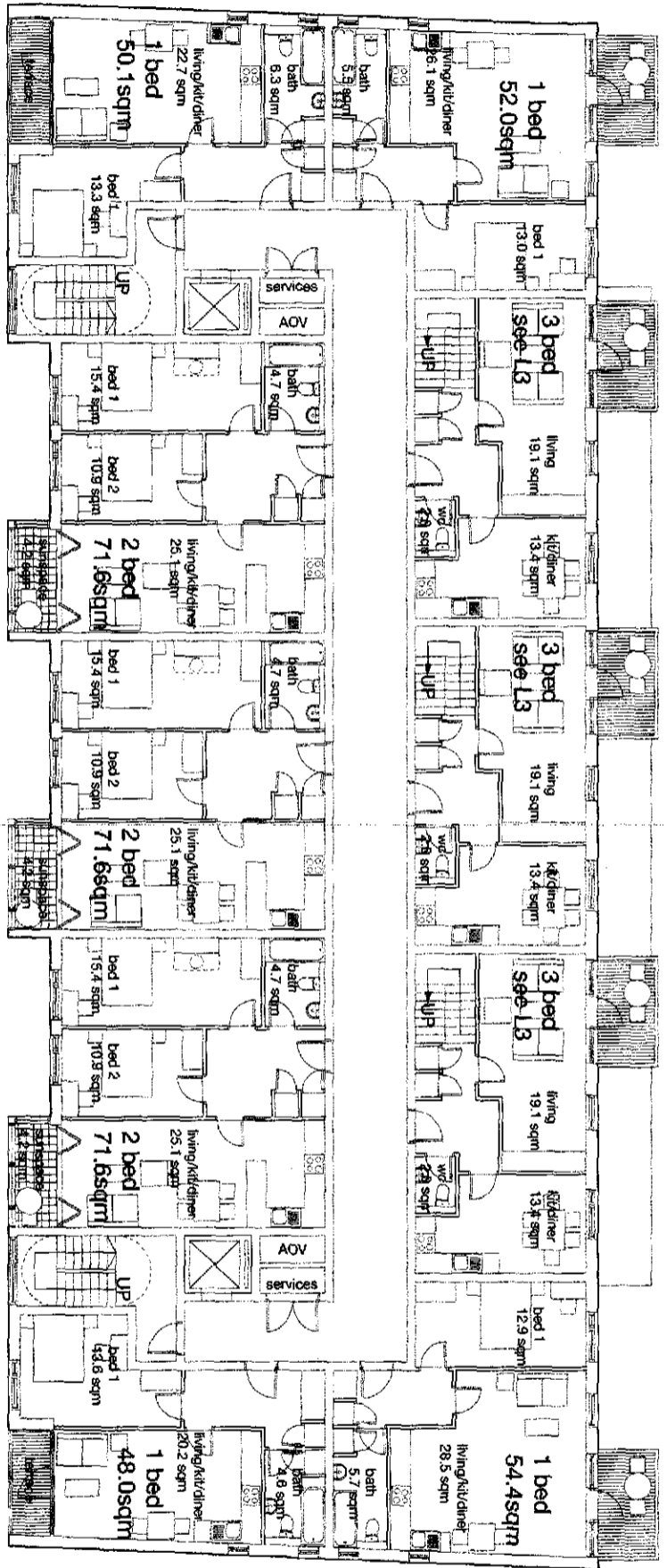
Drawing No.
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LEVEL 0



LEVEL 1



LEVEL 2

- 1 MAR 2007
 06 AP 2183

- B Fab 07 Contours with increased and windows & balconies attached.
- A 31.01.07 Door swings amended and windows & furniture added.

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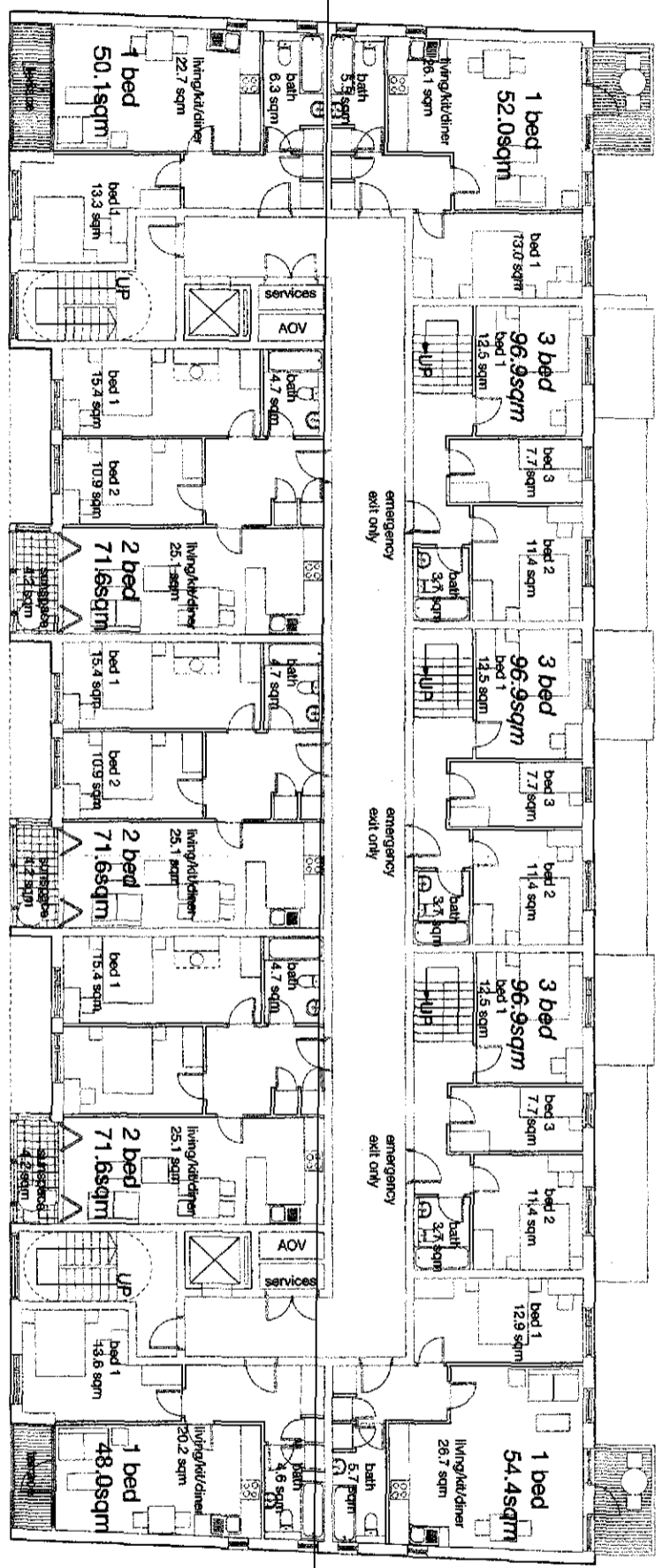
4-10 Riverside, London, SE1 1AA, UK
 Tel: +44 (0)20 7751 1000 Fax: +44 (0)20 7751 1001

Scale	Date	Drawn By	Checked
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1:200 & A2			

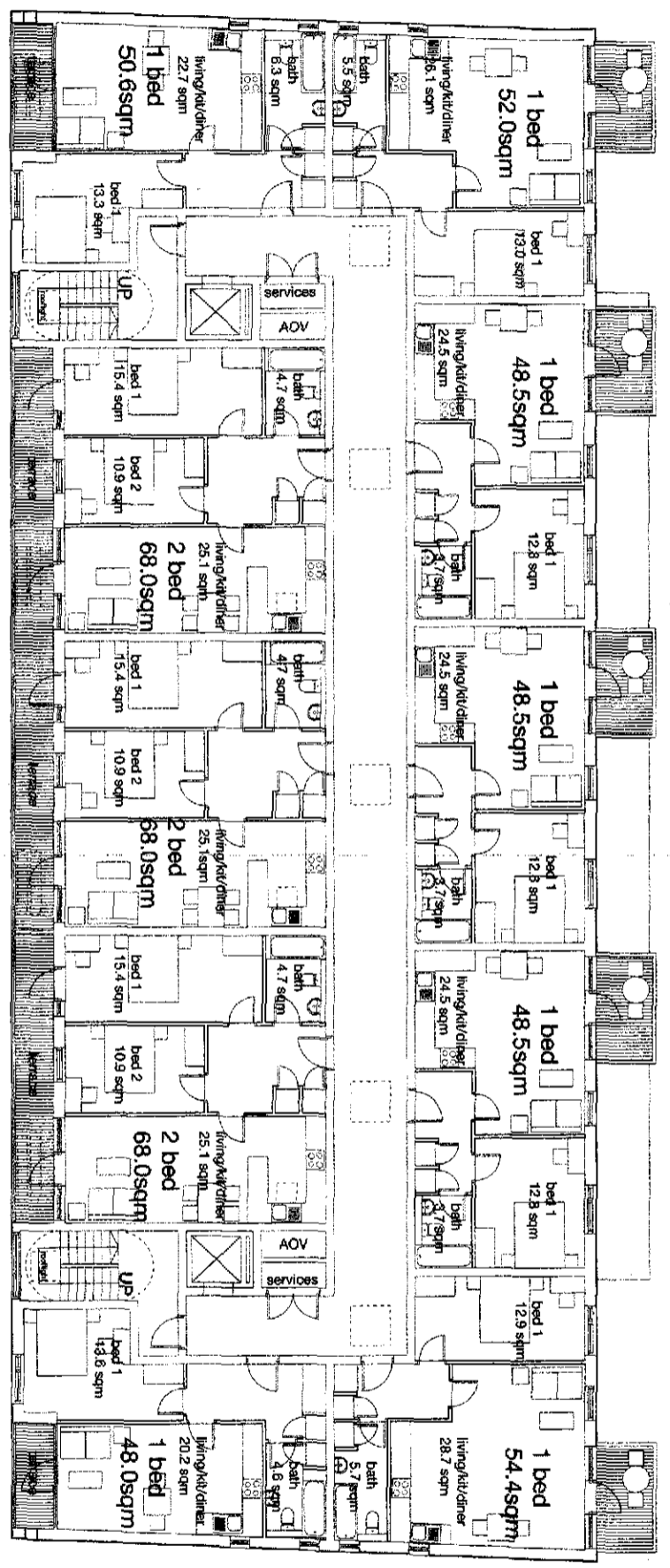
Project:
 CAMBERWELL STATION RD
 Southwark London

DELEGATED
 - 6 JUL 2007
APPROVED
 PROPOSED: WARNER BLOCK
 Levels 0-2
 Drawing No. 05002-D-511B

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LEVEL 3

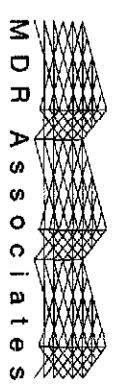


LEVEL 4

- 1 MAR 2007
 06 AP 21 8 3

- B Feb 07 Corridors width increased and SW windows & balconies amended.
- A 31.01.07 Door swings amended and SW windows & furniture added.

Revision



MDR Associates

114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

Scale 1:100 @ A1
 Date OCT 06
 Drawn By EW/JC
 Checked

Project CAMBERWELL STATION RD
 Southwark London

DELEGATED
 - 6 JUL 2007
APPROVED
 05D02-D-512B

PROPOSED: WARNER BLOCK
 Levels 3-4

NOTE

DO NOT SCALE DRAWINGS
 COPYRIGHT RESERVED
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 DIMENSIONS TO BE VERIFIED PRIOR TO COMMENCEMENT
 OF WORKS
 Photovoltaic panels mounted at 30° to horizontal
 generated to within 30°C of due south to total area
 of 2355sqm.
 PVP Solar heater mounted as required take type in
 from roof area and to meet roof to total area of
 214sqm.
 SMH Solar heater mounted as required take type in
 from roof area and to meet roof to total area of
 214sqm.
 Indicative roof locations only, subject to detail design
 & reserved approval.



- 1 MAR 2007
 06 AP 21 8 3

- | | | | |
|---|----------|----------------------------------------------------------|-------|
| C | Fab 07 | Minor amendments | EW/JC |
| B | Fab 07 | PVP & SMH added | JC |
| A | 31/01/07 | Additional rooflights added and
bike compound amended | EW |
- Revision

MDR Associates
 117 Southwark Lane, London SE17 1TH
 T: 020 7799 1177 F: 020 7799 1178
 www.mdrassociates.co.uk

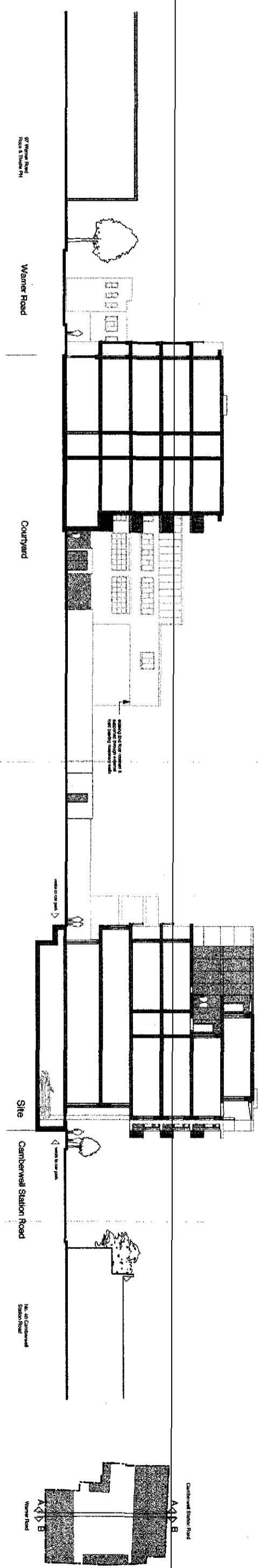
Scale 1:300
 Date 1300 8/11
 1/200 @ AS
 Drawn By OCT 06
 Checked By EW/JC

Project
CAMBERWELL STATION RD
 Southwark London

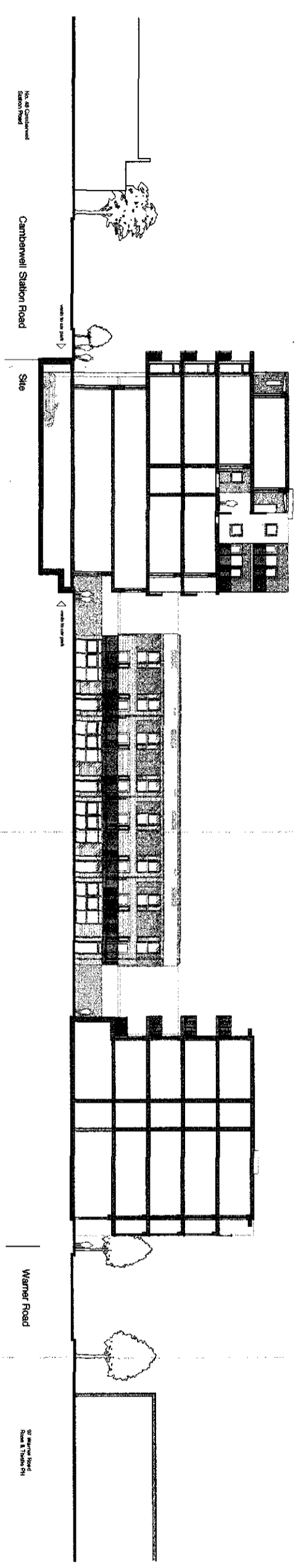
Drawing
PROPOSED: ROOF PLAN

DELEGATED
 Drawing No. 2007002-D-513C
- 6 JUL 2007
APPROVED

NOTE
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 OF WORKS



Section A

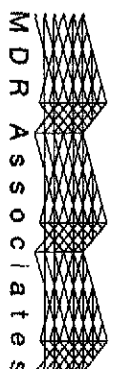


Section B

- 1 MAR 2007
 06 AP 21 8 3

C Feb 2007 Sectors amended EW/JC
 B Feb 2007 Sectors amended JC
 A 31.01.2007 Bills compiled & sections amended & minor amendment EW/JC

Revised



MDR Associates

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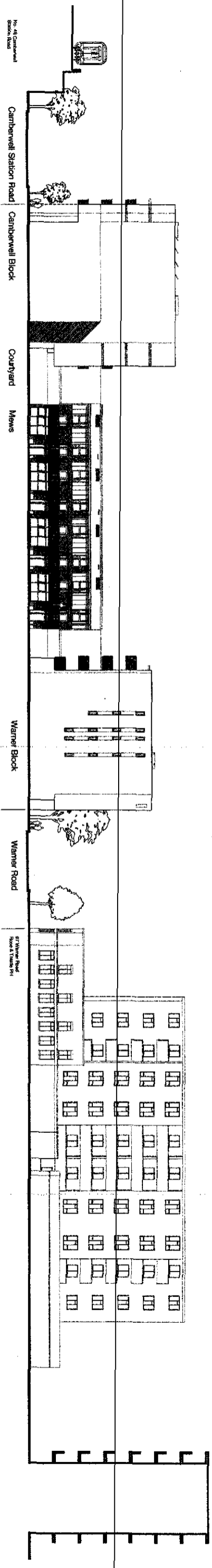
Scale	Date	Drawn By	Checked
1:200 @ A1	OCT 06	EW/JC	
1:200 @ A3			

Project
CAMBERWELL STATION RD
 Southwark London

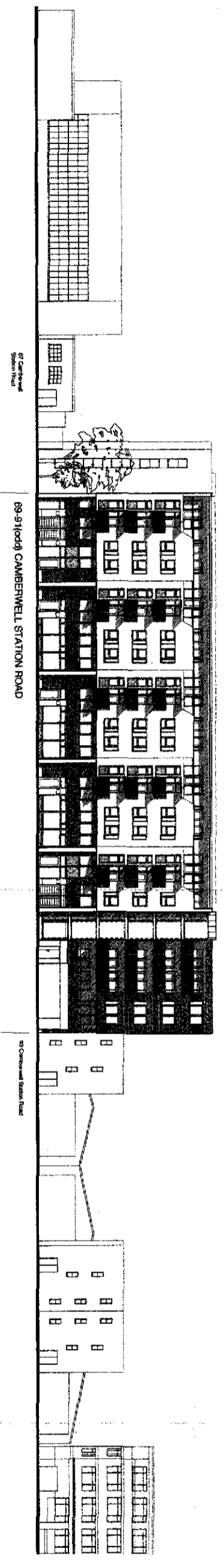
DELICATED
 - 6 JUL 2007
 APPROVED

Drawing No.
 06002-D-514C

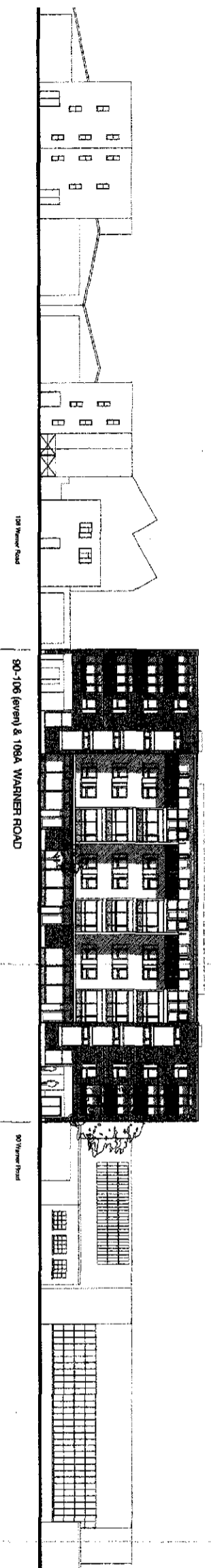
NOTE
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 OF WORKS



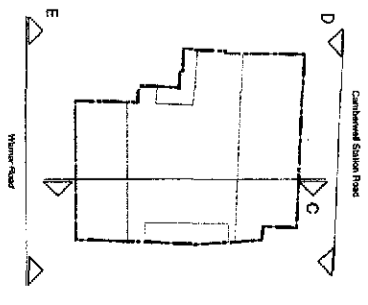
ELEVATION C



ELEVATION D



ELEVATION E



- Revision
- | | | | |
|---|---------|--------------------|-------|
| C | Rev 07 | Elevations amended | EW/JC |
| B | Rev 07 | Elevations amended | JC |
| A | 3/10/07 | Elevations amended | JC |

MDR ASSOCIATES

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Scale 1:250 @ A1
 1:500 @ A3

Date OCT 06
 Drawn By EW/JC
 Checked

Project
CAMBERWELL STATION RD
 Southwark London

DELEGATED
APPROVED
 - 3 JUL 2007

PROPOSED:
CAMBERWELL & WARNER BLOCKS
 Context Elevations
 C, D & E

Drawing No.
05002-D-515C

- 1 MAR 2007
 06 AP 21 8 3

NOTE

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 OF WORKS

Legend: Finish Materials

- Red memory wall to ground level and first floor with a solid cream paint.
- White finish on ground level to floor level above.
- Zinc alloy vertical panel system and glass aluminium frame windows to the 5th floor.
- Windows and doors to be aluminium frame with new double paneled glass.

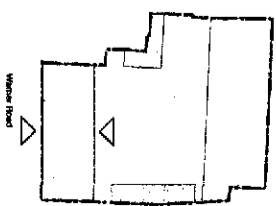
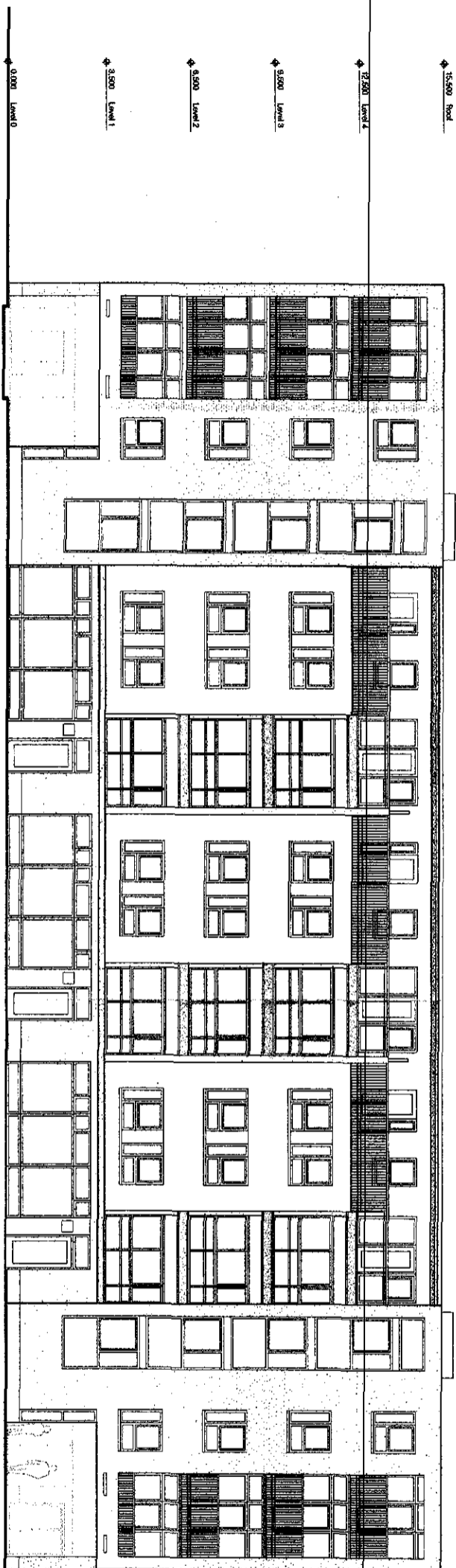
General Notes

- Check walls to ground level and first floor with floor slabs and concrete slab panels as indicated. Red memory wall with solid cream paint.
- Zinc alloy panel held from to concrete slab.
- New strength concrete under to upper floor.

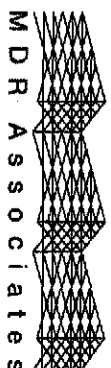
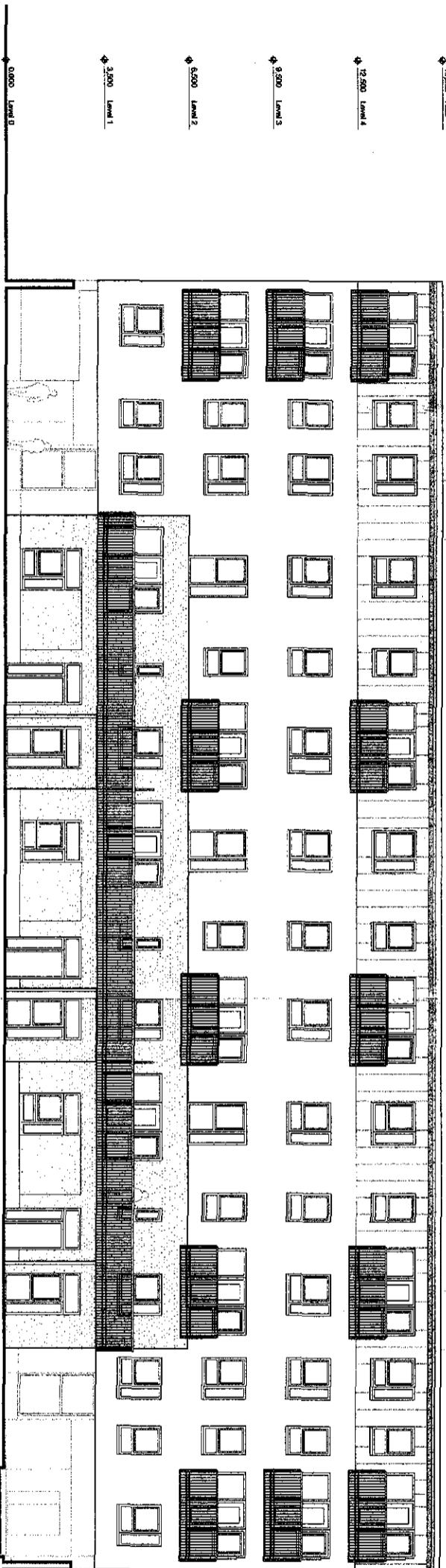
REVISIONS

- The above and also to be decorative frame with columns / yellow floor panels to upper floors.
- Red memory wall to all floors with a solid cream paint.
- Zinc alloy vertical panel system and glass aluminium frame windows to the 5th floor.
- Check walls to the entrance lobby.
- Windows and doors to be aluminium frame.
- Single ply membrane to flat roof with heavy metal roof panels and aluminium panels to identified areas. Flood lights to operate automatically when indicated.

FRONT ELEVATION (Warner Road)



REAR ELEVATION (Courtyard)



MDR Associates
 11-12 The Quadrant, London Bridge, London, SE1 1TU
 Tel: 020 7799 7000 Fax: 020 7799 7077
 Email: info@mdrassociates.co.uk

Scale: 1:100
 Date: OCT 06
 Drawn By: EW
 Checked: EW
 Project: CAMBERWELL STATION RD
 Southwark London

Revision	Description	Checked
C	Feb 07	Elevators amended
B	Feb 07	Front elevation amended
A	31.01.07	Front elevation amended

DELEGATED

- 6 JUL 2007

- 1 MAR 2007

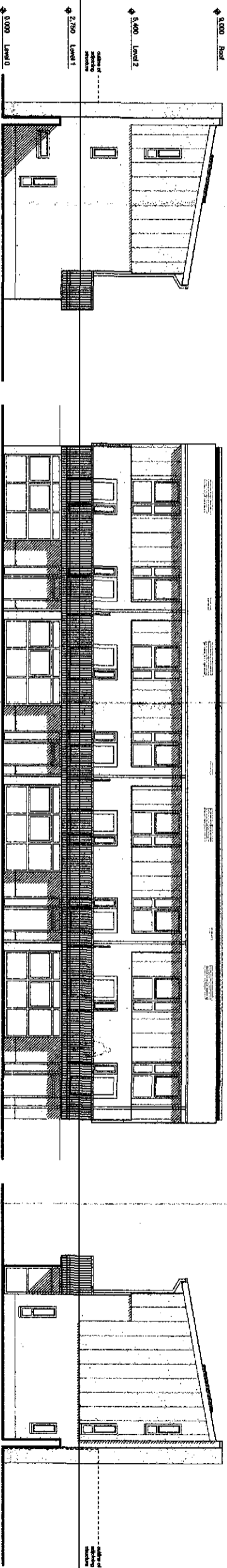
APPROVED

PROPOSED: WARNER BLOCK

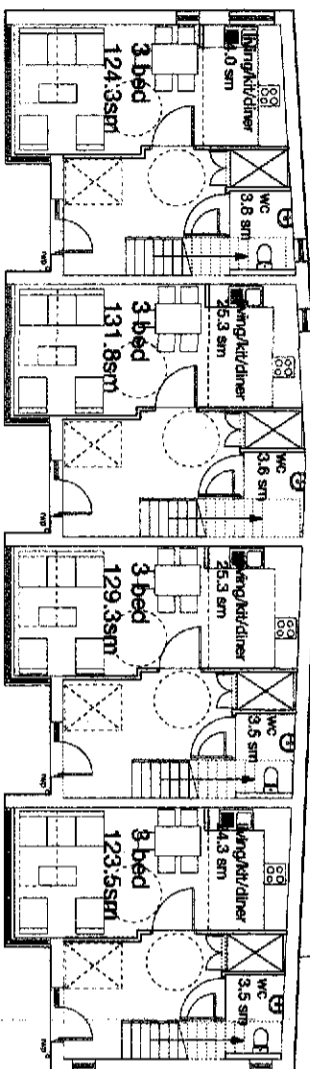
Front & Rear Elevations

Drawing No. 05002-D-517C

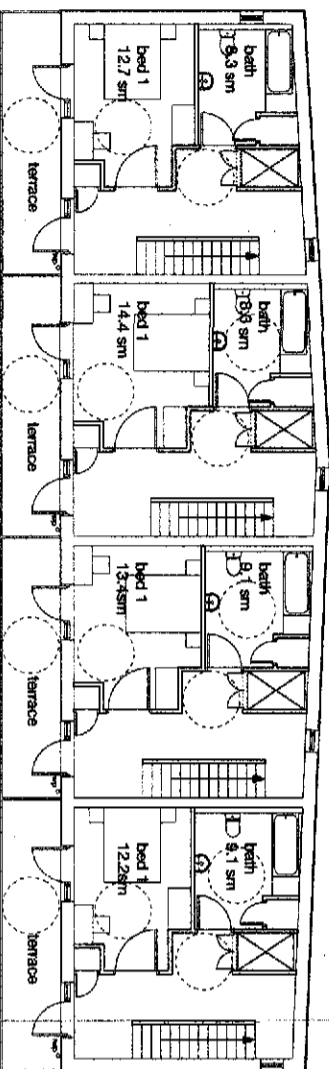
NOTE
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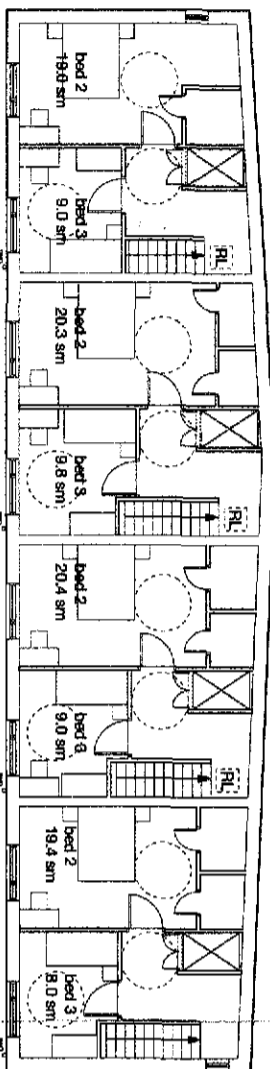
ENDS & FRONT ELEVATIONS



LEVEL 0 (courtyard)



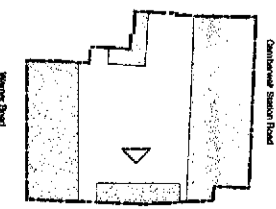
LEVEL 1



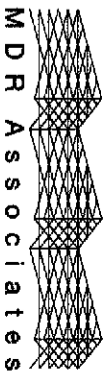
LEVEL 2

London Design Standards

Notes:
 - Bath rooming made with a window security system.
 - The floor raised level system to top floor and connections with ground
 attribution correct.
 - Windows and doors to be detailed in detail.
 - Check the floor level (any) provided on site including girth, steps 1 and bearings
 and wall thickness.



- Revisions**
- C Feb 07 General amendment EW
 - B 19.02.07 General amendment JC
 - A 31.01.07 Living rooms increased and
turning & windows added EW



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 117 Tottenham Lane, London E16 3TE • info@mdrasociates.co.uk
 +44 (0)20 7700 8700 • +44 (0)20 7700 8777

Scale: 1:100 @ A1 Date: OCT 06 Drawn By: EW/JC Checked: 1300 @ A3

Project: CAMBERWELL STATION RD
 Southwark London

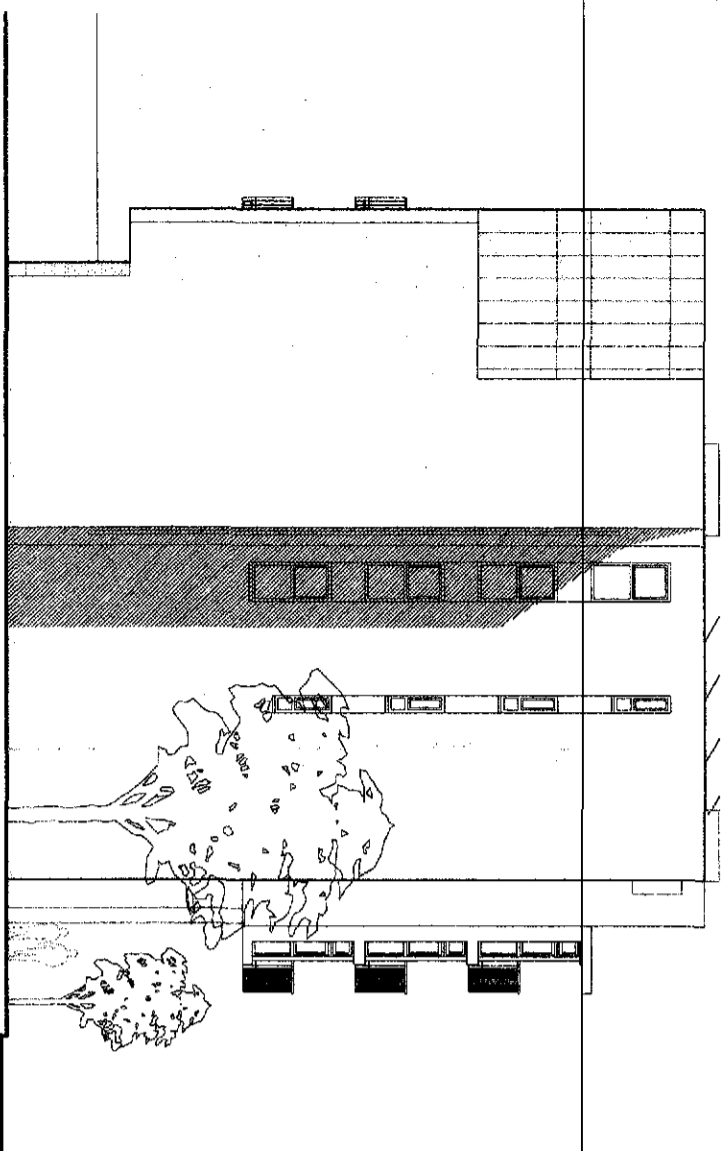
DELEGATED
 Drawing
 1 MAR 2007 PROPOSED: MEWS BLOCK
 Plans & Elevations
 AS AP Approved

Drawing No. 05002-D-518C

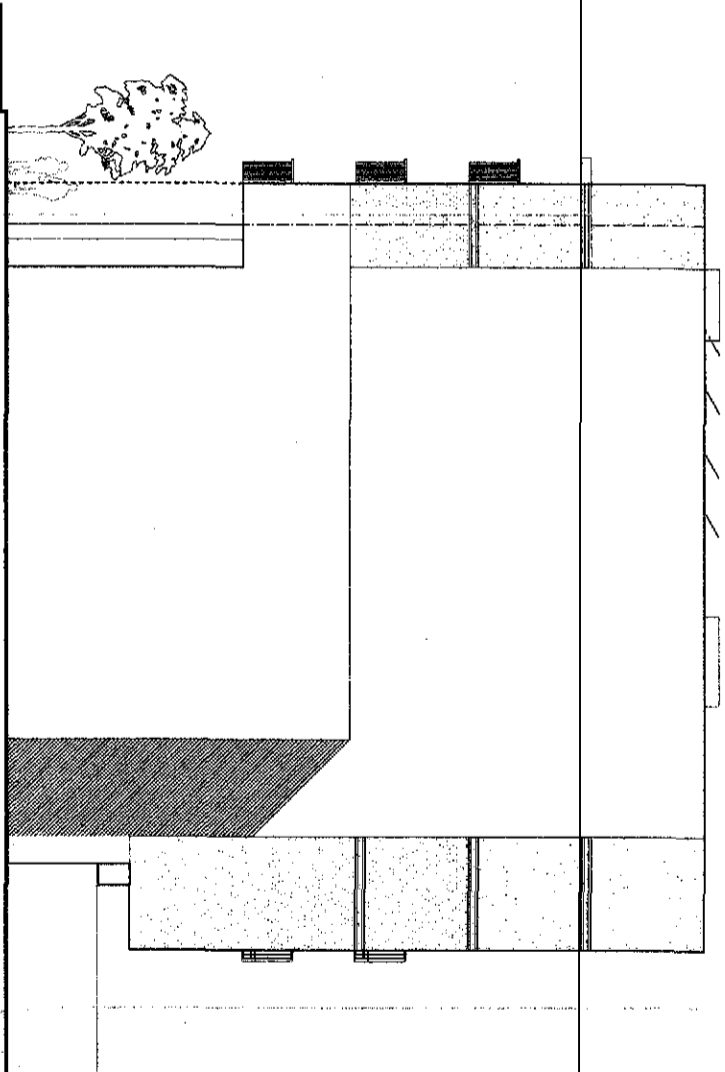
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 DISCREPANCIES TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORKS

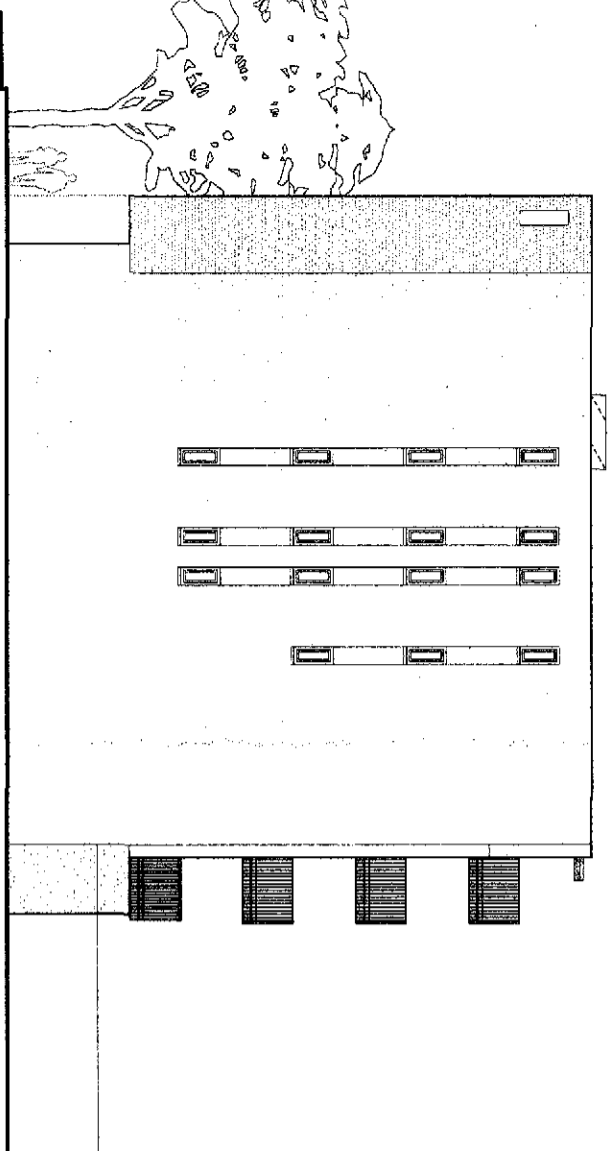
Conventional and Warner Blocks
 End elevations
 - All elevations shall be shown with window of horizontal projection, unless otherwise indicated.
 - The elevations shall be shown as front and rear elevations.
 - The elevations shall be shown as front and rear elevations.
 - Agree that each to cover panels of all end elevations.
 Windows and doors to be indicated from within elevation panels.



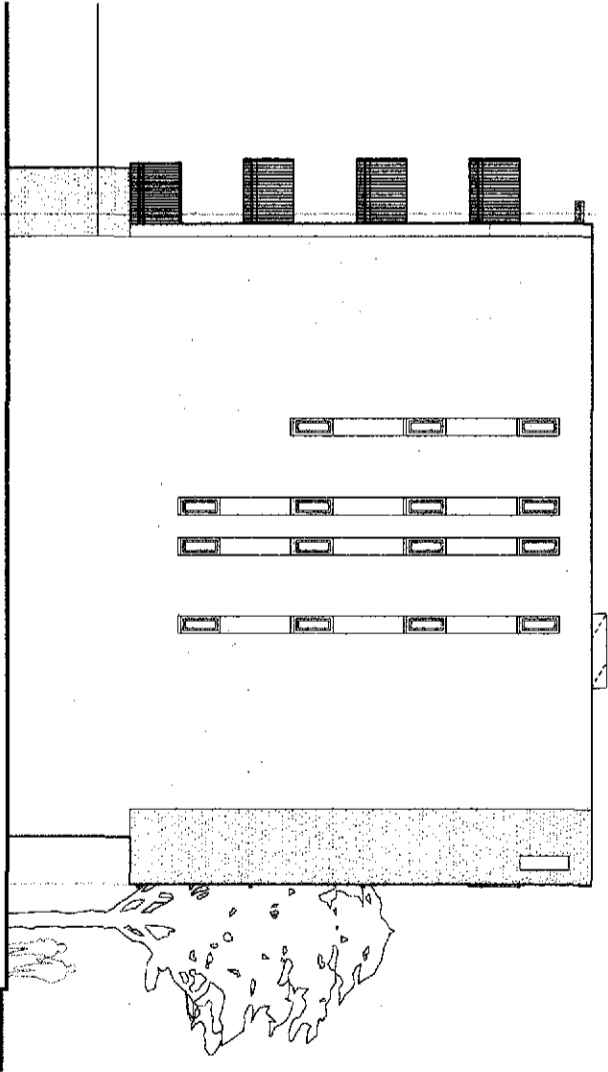
ELEVATION F (Camberwell Block)



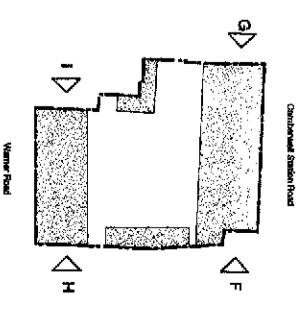
ELEVATION G (Camberwell Block)



ELEVATION H (Warner Block)



ELEVATION I (Warner Block)



- C Feb 07 Elevations amended EW/JC
- B Feb 07 Elevations amended JC
- A 31.01.07 Elevations, windows, brick band & type added EW/JC

Revision

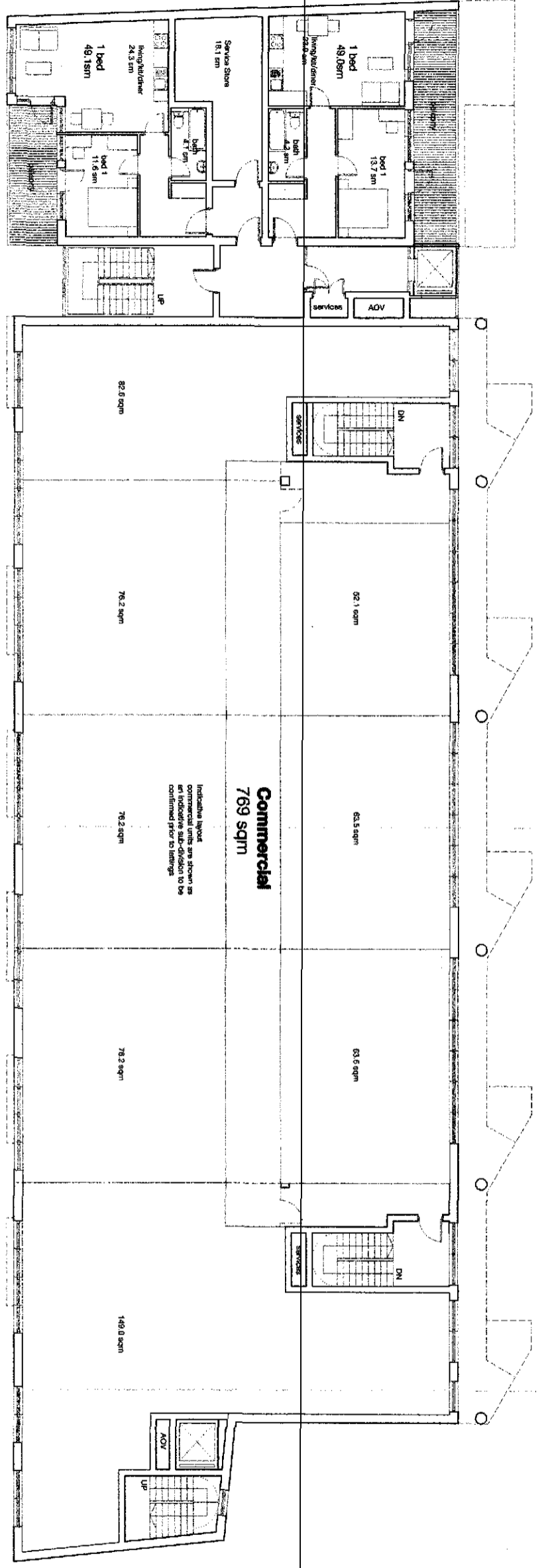
M D R ALBERT GATED
 111 Queensway, London W1 4NS
 Tel: 020 7733 7777 Fax: 020 7733 7778
 www.mdralbertgated.co.uk

APPROVED
 Date: 06 OCT 08
 Scale: 1:200
 Project: CAMBERWELL STATION RD
 Southwark London

06 AP 21 8 3
 - 1 MAR 2007

PROPOSED:
 CAMBERWELL & WARNER BLOCKS
 End Elevations
 Drawing No.
 05002-D-519C

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 OF WORKS



LEVEL 1

13 APR 2007	DESIGN
06 AP 21 8 3	ISSUED

- D Apr 07 Rev level 1 unit amended JC
- C Feb 07 Windows & counts amended JC
- B Feb 07 Windows amended JC
- A 31.01.07 Building with reduced windows and columns added JC

Revision

MDR ASSOCIATES

Scale: 1:100 @ A1
 1:200 @ A2
 1:500 @ A3

Site: **DELEGATED**

Project: **CAMBERWELL BLOCK 2007**
Southwark APPROVED

Drawing No. **05002-D-508D**
PROPOSED:
CAMBERWELL BLOCK
 Level 1

NOTE

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DISCREPANCIES TO BE VERIFIED PRIOR TO COMMENCEMENT
OF WORKS

Approved Building Standards

Approved Building Standard
Approved Standard

Materials

- Cladding: Light grey or dark grey, textured finish, with a minimum of 50% recycled content.
- Windows and doors: To be aluminium frame, with a minimum of 50% recycled content.
- Handrails: To be stainless steel, with a minimum of 50% recycled content.
- Balustrades: To be stainless steel, with a minimum of 50% recycled content.
- Floor finishes: To be polished concrete, with a minimum of 50% recycled content.
- Wall finishes: To be plaster, with a minimum of 50% recycled content.
- Ceiling finishes: To be plaster, with a minimum of 50% recycled content.
- Glazing: To be double glazed, with a minimum of 50% recycled content.
- Cladding: To be light grey or dark grey, textured finish, with a minimum of 50% recycled content.
- Windows and doors: To be aluminium frame, with a minimum of 50% recycled content.
- Handrails: To be stainless steel, with a minimum of 50% recycled content.
- Balustrades: To be stainless steel, with a minimum of 50% recycled content.
- Floor finishes: To be polished concrete, with a minimum of 50% recycled content.
- Wall finishes: To be plaster, with a minimum of 50% recycled content.
- Ceiling finishes: To be plaster, with a minimum of 50% recycled content.
- Glazing: To be double glazed, with a minimum of 50% recycled content.

Construction Details

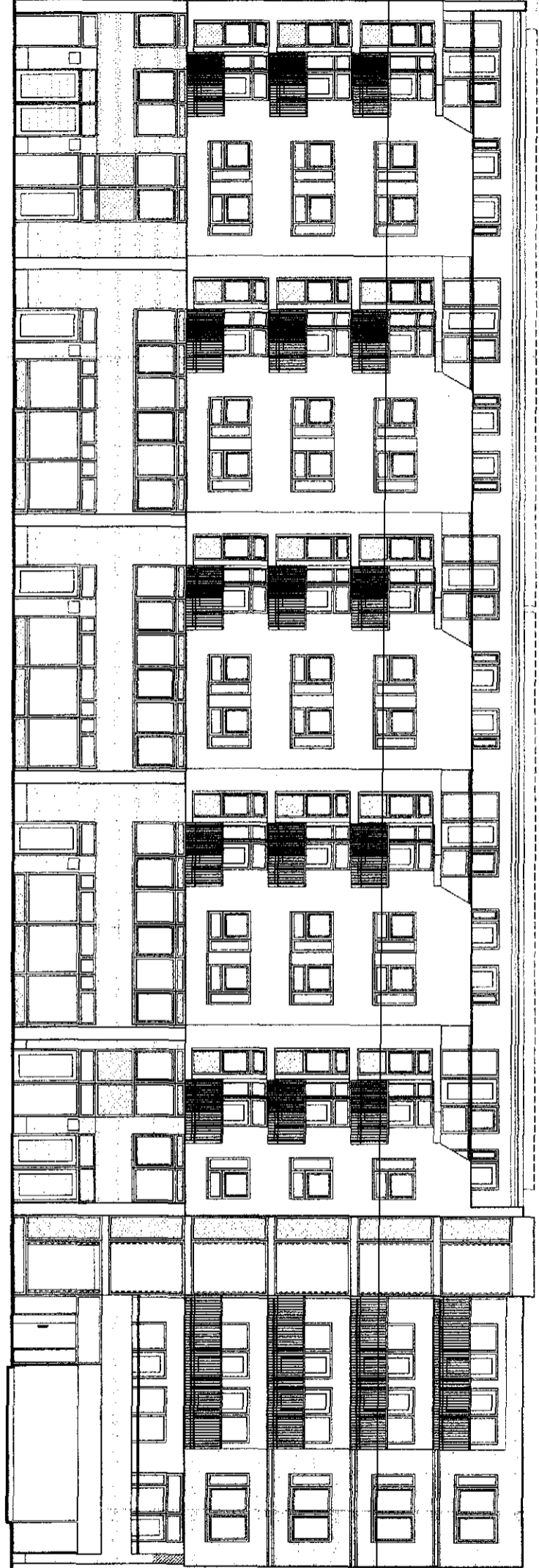
- External walls: To be constructed with brickwork, with a minimum of 50% recycled content.
- Internal walls: To be constructed with plasterboard, with a minimum of 50% recycled content.
- Floors: To be constructed with concrete, with a minimum of 50% recycled content.
- Ceilings: To be constructed with plasterboard, with a minimum of 50% recycled content.
- Roofs: To be constructed with concrete, with a minimum of 50% recycled content.
- Windows and doors: To be aluminium frame, with a minimum of 50% recycled content.
- Handrails: To be stainless steel, with a minimum of 50% recycled content.
- Balustrades: To be stainless steel, with a minimum of 50% recycled content.
- Floor finishes: To be polished concrete, with a minimum of 50% recycled content.
- Wall finishes: To be plaster, with a minimum of 50% recycled content.
- Ceiling finishes: To be plaster, with a minimum of 50% recycled content.
- Glazing: To be double glazed, with a minimum of 50% recycled content.

- External walls: To be constructed with brickwork, with a minimum of 50% recycled content.
- Internal walls: To be constructed with plasterboard, with a minimum of 50% recycled content.
- Floors: To be constructed with concrete, with a minimum of 50% recycled content.
- Ceilings: To be constructed with plasterboard, with a minimum of 50% recycled content.
- Roofs: To be constructed with concrete, with a minimum of 50% recycled content.
- Windows and doors: To be aluminium frame, with a minimum of 50% recycled content.
- Handrails: To be stainless steel, with a minimum of 50% recycled content.
- Balustrades: To be stainless steel, with a minimum of 50% recycled content.
- Floor finishes: To be polished concrete, with a minimum of 50% recycled content.
- Wall finishes: To be plaster, with a minimum of 50% recycled content.
- Ceiling finishes: To be plaster, with a minimum of 50% recycled content.
- Glazing: To be double glazed, with a minimum of 50% recycled content.

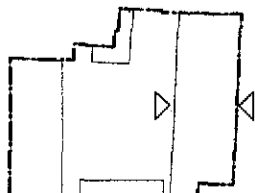
Windows and doors to be aluminium frame, with a minimum of 50% recycled content. Handrails to be stainless steel, with a minimum of 50% recycled content. Balustrades to be stainless steel, with a minimum of 50% recycled content. Floor finishes to be polished concrete, with a minimum of 50% recycled content. Wall finishes to be plaster, with a minimum of 50% recycled content. Ceiling finishes to be plaster, with a minimum of 50% recycled content. Glazing to be double glazed, with a minimum of 50% recycled content.

Camberwell Station Road

FRONT ELEVATION (Camberwell Station Road)

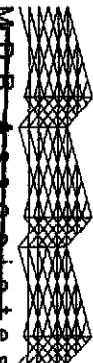


Level 0: 0.000
Level 1: 3.200
Level 2: 6.400
Level 3: 9.600
Level 4: 12.800
Roof: 15.500



- D: Apr 07 Rear level 1 unit windows amended JC
- C: Feb 07 Elevations amended JC
- B: Feb 07 Elevations amended JC
- A: 31.01.07 Elevations amended JC

Revisions



M&B DELEGATED ARCHITECTS
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Tel: 020 7613 5000
www.mandb.co.uk

Scale: 1:100
Date: OCT 06
Checked: JC

APPROVED
Project: CAMBERWELL BLOCK
Front & Rear Elevations
Southwark, London

REAR ELEVATION (Courtyard)



Level 0: 0.000
Level 1: 3.200
Level 2: 6.400
Level 3: 9.600
Level 4: 12.800
Roof: 15.500

Drawing No: 06002-D-516D

13 APR 2007
06 APR 21 8 3

PROPOSED:
CAMBERWELL BLOCK
Front & Rear Elevations